

Submitted by: Chair of the Assembly at
the Request of the Acting
Mayor
Prepared by: Planning Department
For reading February 24, 2009

CLERK'S OFFICE

APPROVED

Date: 2-24-09

Anchorage, Alaska
AR No. 2009-29

1 A RESOLUTION OF THE ANCHORAGE MUNICIPAL ASSEMBLY
2 APPROVING AN ALCOHOLIC BEVERAGES CONDITIONAL USE FOR A
3 BEVERAGE DISPENSARY TOURISM USE AND LICENSE, AND DUPLICATE
4 BEVERAGE DISPENSARY TOURISM USE AND LICENSE IN THE I-1 SL
5 (LIGHT INDUSTRIAL) DISTRICT WITH SPECIAL LIMITATIONS (A.O. 98-
6 96AA) PER AMC 21.40.200.B.1.k, FOR ANCHORAGE HOSPITALITY LLC,
7 DBA CROWNE PLAZA MIDTOWN HOTEL - ANCHORAGE, ALASKA;
8 LOCATED AT 109 WEST INTERNATIONAL AIRPORT ROAD, WITHIN TRACT
9 A, HAXBY SUBDIVISION, LOCATED WITHIN THE NW ¼ OF SECTION 31,
10 T13N, R3W, S.M.; GENERALLY LOCATED NORTH OF WEST
11 INTERNATIONAL AIRPORT ROAD AND EAST OF C STREET.
12
13

14 (Midtown Community Council) (Case 2009-021)

15 **THE ANCHORAGE ASSEMBLY RESOLVES:**

16
17 **Section 1.** This conditional use approval is for an Alcoholic Beverages
18 Conditional Use for a Beverage Dispensary Tourism Use and License, and
19 Duplicate Beverage Dispensary Tourism Use and License in the I-1 SL District
20 with Special Limitations (A.O. 98-96aa) per AMC 21.40.200.B.1.k, for Anchorage
21 Hospitality LLC, dba Crowne Plaza Midtown Hotel - Anchorage, Alaska; located
22 within Tract A, Haxby Subdivision, located within the NW ¼ of Section 31, T13N,
23 R3W, S.M., Alaska; generally meets the applicable provisions of AMC 21.50.020
24 and AMC 21.50.160.
25

26 **Section 2.** This is an Alcoholic Beverages Conditional Use for a Beverage
27 Dispensary Tourism Use and Duplicate Beverage Dispensary Tourism Use for a
28 165-guest room hotel. The Juno Restaurant and Lounge, on the first floor of the
29 hotel, will be open for breakfast, lunch, and dinner from 6:00 A.M. to 11:00 P.M.
30 and will serve alcoholic beverages from 11:00 A.M. to 11:00 P.M., seven days a
31 week. The Juno Restaurant and Lounge will have 2,640 square feet of floor
32 space holding 122 people with 26 fixed chairs and 75 non-fixed chairs. The hotel
33 will also have three function rooms on the first floor which will be catered with
34 food and beverages, including alcoholic drinks, upon request. The function
35 rooms will have 2,882 square feet of floor space holding 136 people and 136
36 non-fixed chairs. The Duplicate Beverage Dispensary Tourism Use is for the
37 Concierge Lounge on the 6th floor of the hotel, which will serve light meals and
38 beverages throughout the day. The Concierge Lounge will serve alcoholic drinks
39 from 5:00 P.M. to 7:30 P.M. daily. The Concierge Lounge will have 1,082 square

1 feet holding 32 people and 30 non-fixed chairs. Overall, the sale of alcoholic
2 beverages will represent 25% compared with 75% food sales. There is sufficient
3 parking provided as evidenced by the approved building permit.

4
5 **Section 3.** The conditional use is approved subject to the following conditions:

6
7 1. A Notice of Zoning Action shall be filed with the District Recorder's Office
8 within 120 days of the Assembly's approval of a final conditional use approval for
9 a Beverage Dispensary Tourism Use, and Duplicate Beverage Dispensary
10 Tourism Use in the I-1 SL (A.O. 98-96aa) District, and compliance with the other
11 conditions set forth herein.

12
13 2. All uses shall conform to the plans and narrative submitted with this
14 conditional use application.

15
16 3. This conditional use approval is for an Alcoholic Beverage Dispensary
17 Tourism Conditional Use, and a Duplicate Beverages Dispensary Tourism
18 Conditional Use for the Anchorage Hospitality LLC in the I-1 SL District per AMC
19 21.40.200.B.1.k, for Tract A, Haxby Subdivision, located within the NW ¼ of
20 Section 31, T13N, RW, S.M., Alaska.

21
22 4. The restaurant and lounge on the first floor of the hotel will serve alcoholic
23 beverages from 11:00 A.M. to 11:00 P.M.. The Juno Restaurant and Lounge will
24 have 2,640 square feet of floor space holding 122 people with 26 fixed chairs and
25 75 non-fixed chairs. The hotel will also have three function rooms on the first
26 floor which will be catered with food and beverages, including alcoholic drinks,
27 upon request. The function rooms will have 2,882 square feet of floor space
28 holding 136 people and 136 non-fixed chairs. The Duplicate Beverage
29 Dispensary Tourism Use is for the Concierge Lounge on the 6th floor of the hotel,
30 which will serve alcoholic drinks from 5:00 P.M. to 7:30 P.M. The Concierge
31 Lounge will have 1,082 square feet holding 32 people and 30 non-fixed chairs.
32 The on-premise sale of alcohol beverages will be seven days a week as
33 permitted by ABC regulations. Alcoholic beverage sales will constitute
34 approximately 25 percent to the ratio of 75 percent food sales.

35
36 5. Upon demand, the applicant shall demonstrate compliance with a "Liquor
37 Server Awareness Training Program," approved by the State of Alaska Alcoholic
38 Beverage Control Board, such as or similar to, the program for "Techniques in
39 Alcohol Management" (TAM).

40
41 6. The use of the property, by any person for the permitted purposes, shall
42 comply with all current and future Federal, State and local laws and regulations,
43 including but not limited to, laws and regulations pertaining to the sale,
44 dispensing, service and consumption of alcoholic beverages. The owner of the
45 property, the licensee under the Alcoholic Beverage Control license and their

1 officers, agents and employees, shall not knowingly permit, or negligently fail to
2 prevent the occurrence of illegal activity on the property.

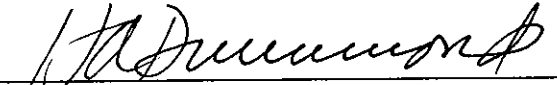
3
4 7. A copy of the conditions imposed by the Assembly in connection with this
5 conditional use approval shall be maintained on the premises.

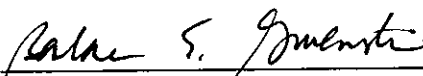
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7 **Section 4.** Failure to comply with the conditions of this conditional use permit
8 shall constitute grounds for its modification or revocation.

9
10 **Section 5.** This resolution shall become effective immediately upon passage
11 and approval by the Anchorage Assembly.

12
13 PASSED AND APPROVED by the Anchorage Assembly this 24th
14 day of February 2009.

15
ATTEST:


Chair


Municipal Clerk

(Planning Case Number 2009-021)
(Tax Identification Number 009-221-28)



**MUNICIPALITY OF ANCHORAGE
ASSEMBLY MEMORANDUM**

No. AM 84-2009

Meeting Date: February 24, 2009

From: ACTING MAYOR

Subject: AN ALCOHOLIC BEVERAGES CONDITIONAL USE FOR A BEVERAGE DISPENSARY TOURISM USE AND LICENSE, AND DUPLICATE BEVERAGE DISPENSARY TOURISM USE AND LICENSE IN THE I-1 SL (LIGHT INDUSTRIAL) DISTRICT WITH SPECIAL LIMITATIONS (A.O. 98-96AA) PER AMC 21.40.200.B.1.k., FOR ANCHORAGE HOSPITALITY LLC, DBA CROWNE PLAZA MIDTOWN HOTEL - ANCHORAGE, ALASKA; LOCATED AT 109 WEST INTERNATIONAL AIRPORT ROAD, WITHIN TRACT A, HAXBY SUBDIVISION.

1 Anchorage Hospitality LLC, dba Crown Plaza Midtown Hotel – Anchorage, Alaska,
2 has made application for an Alcoholic Beverage Conditional Use for Beverage
3 Dispensary Tourism Use and License and a Duplicate Beverage Dispensary
4 Tourism Use and License in the I-1 SL District with Special Limitations (A.O. 98-
5 96aa), located at 109 West International Airport Road, within Tract A, Haxby
6 Subdivision.

7
8 This proposal is for an Alcoholic Beverage Conditional Use Beverage Dispensary
9 Tourism Use and a Duplicate Beverage Dispensary Tourism Use for a new 165-
10 guestroom hotel for the business and leisure traveling market. Construction of the
11 hotel will be completed in May 2009. The property is zoned I-1 SL (A.O. 98-96aa),
12 in which alcoholic beverage sales are permitted through the conditional use
13 process.

14
15 There are no known churches or schools within 200 feet of the petition site,
16 according to Municipal records.

17
18 There is only one alcoholic beverage conditional use and license within a 1,000-
19 foot radius of the petition site. Approving this beverage dispensary tourism license
20 will add a second beverage dispensary license and a duplicate beverage
21 dispensary license, which would be the first and second tourism licenses within a
22 1,000-foot radius of the petition site.

The Juno Restaurant and Lounge, on the first floor of the hotel, will be open for breakfast, lunch, and dinner from 6:00 A.M. to 11:00 P.M. and will serve alcoholic beverages from 11:00 A.M. to 11:00 P.M., seven days a week. The Juno Restaurant and Lounge will have 2,640 square feet of floor space holding 122 people with 26 fixed chairs and 75 non-fixed chairs. The hotel will also have three function rooms on the first floor which will be catered with food and beverages, including alcoholic drinks, upon request. The function rooms will have 2,882 square feet of floor space holding 136 people and 136 non-fixed chairs. The Duplicate Beverage Dispensary Tourism Use is for the Concierge Lounge on the 6th floor of the hotel, which will serve light meals and beverages throughout the day. The Concierge Lounge will serve alcoholic drinks from 5:00 P.M. to 7:30 P.M. daily. The Concierge Lounge will have 1,082 square feet holding 32 people and 30 non-fixed chairs. There is sufficient parking provided as evidenced by the approved building permit.

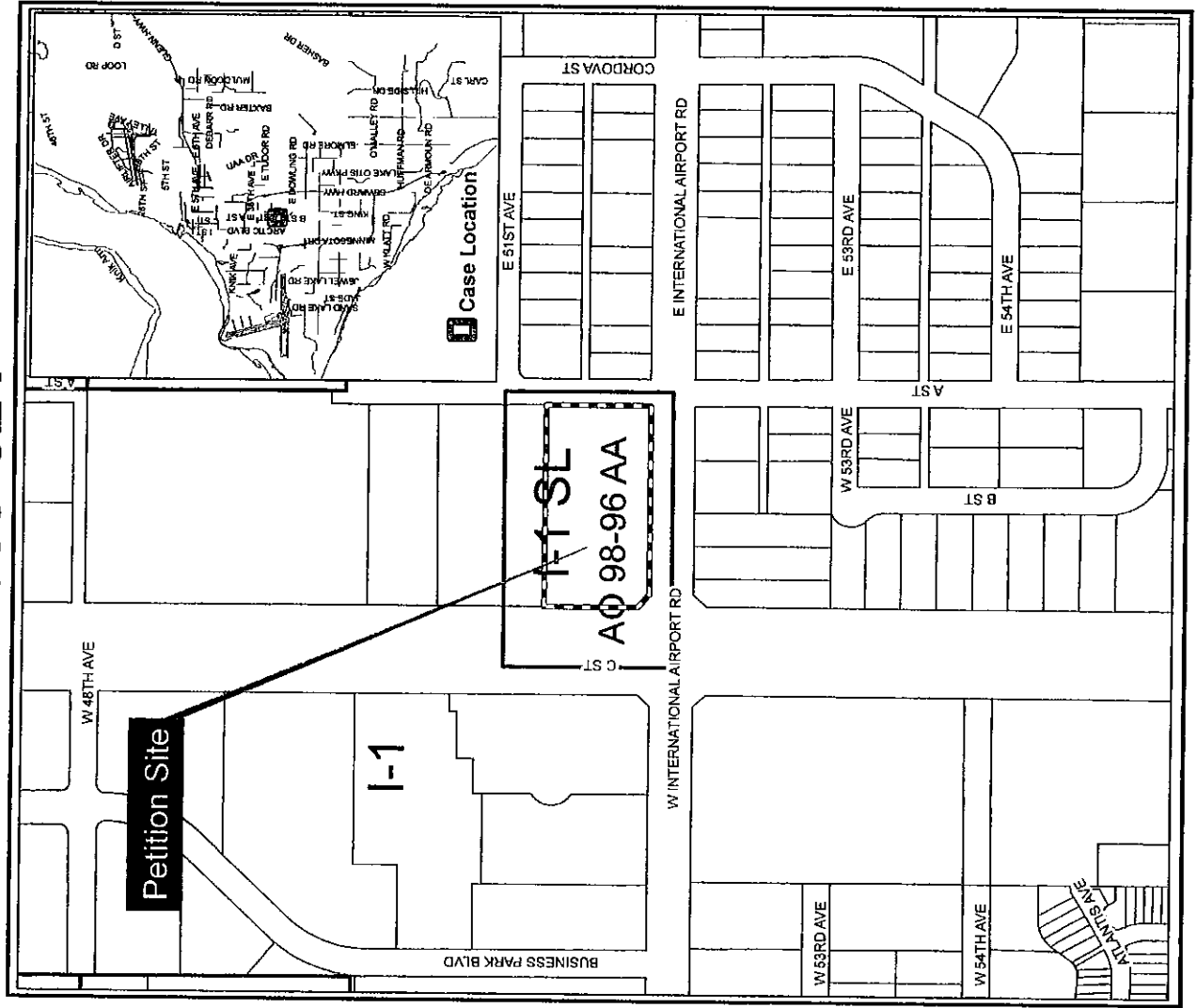
On-premise sale of alcohol beverages will be available, as permitted by the Alcohol Beverage Control Board requirements, only during the hours allowed for the specific day of the week applicable. The petitioner estimates the sale of alcoholic beverages will represent 25 percent compared with 75 percent food sales. Employees involved in the sale of alcoholic beverages will be trained in accordance with the Alcoholic Beverage Control Board's "Liquor Server Alcohol Awareness Training Program," (TAM) and will hold the necessary certifications.

At the time this report was prepared, the Department of Health and Human Services, and the Anchorage Police Department did not provide comments. Treasury reports there are no delinquent Personal Property Taxes, or Real Property Taxes owing at this time.

This Alcoholic Beverage Conditional Use for a Beverage Dispensary Tourism Use and License, and a Duplicate Beverage Dispensary Tourism Use and License in the I-1 SL District (A.O. 98-96aa) generally meets the applicable provisions of AMC Titles 10 and 21, and Alaska Statutes 04.11.090, 04.11.080(2), 04.11.400.d, and 13.104.325.

Prepared by:	Jerry T. Weaver Jr., Zoning Administrator
Concur:	Tom Nelson, Director, Planning Department
Concur:	Mary Jane Michael, Executive Director, Office of Economic and Community Development
Concur:	James N. Reeves, Municipal Attorney
Concur:	Michael K. Abbott, Municipal Manager
Respectfully submitted:	Matt Claman, Acting Mayor

2009-021



**PLANNING DEPARTMENT
STAFF ANALYSIS
CONDITIONAL USE – ALCOHOLIC BEVERAGE SALES**

DATE: February 24, 2008

CASE NO.: 2009-021

APPLICANT: Anchorage Hospitality, LLC

REPRESENTATIVE: Lounsbury and Associates, Inc.

REQUEST: Alcoholic Beverages Conditional Use for a Beverage Dispensary Tourism Use and License and a Duplicate Beverage Dispensary Tourism Use and License in the I-1 SL (A.O. 98-96aa) District per AMC 21.40.200.B.1.k, AMC 21.50.160, and AMC 10.50

LOCATION: Tract A, Haxby Subdivision, located in the NW ¼ of Section 31, T-13N, RW, S.M., Alaska. Generally located north of West International Airport Road and east of C Street.

STREET ADDRESS: 109 West International Airport Road

COMMUNITY COUNCIL: Mid-Town

TAX PARCEL: 009-221-28 / Grid SW1830

ATTACHMENTS

1. Location Map
2. Departmental Comments
3. Application
4. Posting Affidavit
5. Historical Information

RECOMMENDATION SUMMARY:
This conditional use application generally meets the required standards of AMC 21.40.200.B.1.k, AMC 21.50.160, and AMC 10.50.

SITE:

Acres: 106,722 SF / 2.45 acres

Vegetation: Commercial landscaping

Zoning: I-1 SL (A.O. 98-96aa)

Topography: Sloping uphill from east to west
Existing Use: Hotel
Soils: Public Sewer and Water

COMPREHENSIVE PLAN – Anchorage 2020

Classification: Not designated in the Anchorage 2020 Land Use Policy Map

Commercial in the 1982 Anchorage Bowl Comprehensive Development Plan

Density: N/A

SURROUNDING AREA

	NORTH	EAST	SOUTH	WEST
Zoning:	I-1	I-1	I-1	I-1
Land Use:	Hotel	Office	Commercial	Vacant

SITE DESCRIPTION AND PROPOSAL

The petitioner is seeking approval for an alcoholic beverages conditional use for a Beverage Dispensary Tourism Use and Duplicate Beverage Dispensary Tourism Use in the I-1 SL District per AMC 21.40.200.B.1.k and AMC 21.50.160 for the Crowne Plaza Midtown Hotel. The petition site is located at the northeast corner of C Street and International Airport Road. A new 165-room hotel is under construction on the site. It is scheduled for completion in April of 2009. The petitioner, Anchorage Hospitality LLC, has applied to the Alcoholic Beverages Control Board for a new beverage dispensary tourism license.

The Juno restaurant and lounge, on the first floor of the hotel, will be open for breakfast, lunch, and dinner from 6:00am to 11:00pm and will serve alcoholic beverages from 11:00am to 11:00pm, seven days a week. The Juno restaurant and lounge will have 2,640 square feet of floor space holding 122 people with 26 fixed chairs and 75 non-fixed chairs. The hotel will also have three function rooms on the first floor which will be catered with food and beverages, including alcoholic drinks, upon request. The function rooms will have 2,882 square feet of floor space holding 136 people and 136 non-fixed chairs. The Duplicate Beverage Dispensary Tourism Use is for the Concierge Lounge on the 6th floor of the hotel, which will serve light meals and beverages throughout the

day. The Concierge Lounge will serve alcoholic drinks from 5:00pm to 7:30pm daily. The Concierge Lounge will have 1,082 square feet holding 32 people and 30 non-fixed chairs. It should be noted that the Concierge Lounge will be reserved for only certain guests of the hotel with membership privileges. Overall, the sale of alcoholic beverages will represent 25% compared with 75% food sales. There is sufficient parking provided as evidenced by the approved building permit.

All employees that have direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program. Non-alcoholic beverages will be available, notices of penalties for driving intoxicated will be posted, and patrons will have access and assistance to public transportation. There will be no entertainment defined as "indecent material" or "adult entertainment," no happy hours, games or contests that include consumption of alcoholic beverages, and no solicitation or encouragement of alcoholic beverage consumption. Sales to persons who are inebriated or underage are prohibited.

Municipal records show no schools or churches within 200 feet of the petition site.

PUBLIC COMMENTS

Thirty-seven public hearing notices were mailed on January 20, 2009. At the time this report was written, one notice was returned in favor and none against the proposal and none were returned undeliverable. No written comment was received from the Taku/Campbell and Midtown Community Councils.

FINDINGS

A. Furthers the goals and policies of the Comprehensive Development Plan and conforms to the Comprehensive Development Plan in the manner required by Chapter 21.05.

This subject property is not identified on the *Anchorage 2020 Land Use Policy Map*. The *1982 Anchorage Bowl Comprehensive Development Plan* identifies the subject property as Commercial.

Anchorage 2020 does not specifically address the sale of alcoholic beverages in the community. A strategy of *Anchorage 2020*, however, calls for the development of locational standards and criteria for retail sales/service of alcoholic beverages. To date this has not been done.

Several goals of *Anchorage 2020* address related issues such as recreational and economic opportunities. The sale of alcoholic beverages is part of the social, recreational and economic environment of the community. Hotel dining, night clubs, bars and restaurants which serve alcohol enhances the hospitality

and tourism industry in Anchorage, and provide eating places for local residents and downtown employees. Another of *Anchorage 2020's* stated economic development goals are "Business Support and Development: a quality of life and a financial climate that encourages businesses to start up, expand or relocate in Anchorage (p. 41).

B. Conforms to the standards for that use in this title and regulations promulgated under this title.

This standard is met.

The I-1 SL (per A.O. 98-96aa) zoning regulations and special limitations allow alcoholic beverage sales through the conditional use permit process: AMC 21.40.200.B.1.k. Liquor stores, restaurants, tearooms, cafes, private clubs or lodges and other places serving food or beverages involving the retail sale, dispensing or service of alcoholic beverages in accordance with section 21.50.160. Title 21 defines hotel as meaning "any building containing 20 or more guestrooms accessible only by means of an interior corridor, rented for compensation by the day or week and offered for use by the general public in conjunction with subordinate services and facilities, such as restaurants, meeting rooms and the like."

Alaska Statute 04.11.090 provides the area designated as the licensed premises under a beverage dispensary license issued to a hotel that caters to the traveling public as a substantial part of its business may include the dining room, banquet room, guests' rooms, and other public areas approved by the (Alcohol Beverage Control) board. Under this same state statute the number of new beverage dispensary licenses available is limited by a population methodology. Tourism licenses (beverage dispensary or restaurant eating place license), on the other hand, are approved by the Alcohol Beverage Control Board upon a showing that construction of a tourist facility will encourage tourism, and that the tourist business will constitute a substantial portion of the business of the tourist facility, per Alaska Administrative Code 13 AAC 104.325 and Alaska Statute 04.11.080(2).

C. Will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

This standard is met.

The I-1 SL District is intended primarily for urban and suburban light manufacturing, processing, storage, wholesale, and distribution operations, but

also permits commercial uses. Conditional use permits are required for hotels. The Mid-Town area commercial uses include restaurants, banks, retail stores, grocery stores, movie theaters, auto-related stores, department stores, hotels, etc. The Bailey's Furniture Store is located on the southwest side of the C Street and International Airport Road intersection, kiddy-corner from the hotel. The hotel restaurant, meeting rooms, and concierge lounge is compatible with the I-1 SL District and existing uses in the Mid-Town area.

There is one active liquor license within 1,000 feet of the petition site. This is the Lone Star Steakhouse and Saloon, located near the corner of C Street and 48th Avenue.

AMC 21.50.160.B asks that a list of all alcohol licenses located within a minimum of 1,000 feet of the proposed conditional use be provided. There is only one beverage dispensary license within 1,000 feet of the petition site. Approving this beverage dispensary tourism license will add a second beverage dispensary license and a duplicate beverage dispensary license, which would be the first and second tourism licenses within a 1,000-foot radius of the petition site.

Alaska Statute 04.11.410, Restriction of location near churches and schools, restricts beverage dispensary and package store licenses from being located, measured by the shortest pedestrian route from the outer boundaries of the school ground or the public entrance of the church. According to Municipal records, there are no known churches or schools within 200 feet of the petition site.

D. Will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:

1. Pedestrian and vehicular traffic circulation and safety.

This standard is met.

The I-1 SL District provides that all required parking be provided on site. The 165 room hotel requires one parking space per guest room, and does not calculate additional parking for the restaurant use or lounge/bar use. The MOA Traffic Engineer is empowered to administratively reduce the required parking by up to 10 percent. Including two handicap spaces and one van accessible space, 149 parking spaces are provided. Three Type B loading berths are provided.

The Traffic Department and the State of Alaska Department of Transportation had no comments on this request. Driveway access has been approved to International Airport Road. Public transportation is not available along this section of C Street.

2. The availability of public services and facilities.

This standard is met.

Electrical, water and sewer, natural gas are available on site. Road infrastructure is already in place.

3. Noise, air, water, or other forms of environmental pollution.

This standard is met.

As a land use, an Alcoholic Beverages Conditional Use for a Beverage Dispensary Tourism Use and License and Duplicate Beverage Dispensary Tourism Use will not cause or contribute to any environmental pollution. The parking lot is paved, which helps control air pollution.

4. The maintenance of compatible and efficient development patterns and land use intensities.

This standard is met.

The zoning, land use and the general area land use will not change as a result of this Alcoholic Beverages Conditional Use for a Beverage Dispensary Tourism Use and License and Beverage Dispensary Tourism Use. This is a new commercial site.

Standards Chapter 10.50 Alcoholic Beverages

In the exercise of its powers and under AS 04.11.480 and 13 AAC 104.145 to protest issue, renewal and transfer or alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets each and every factor and standard set forth below:

- A. Concentration and land use. Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected and will conform to the separate standards of AMC 21.50.020.

Approval of this conditional use will add a second beverage dispensary license and a duplicate beverage dispensary license within 1,000-feet.

Lone Star Steakhouse and Saloon	4810 C Street	License #3494	Beverage Dispensary
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- B. Training.** If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.

This standard is met.

The applicant states that all employees involved in the dispensing of alcoholic beverages will be trained in accordance with the TAM training and hold the appropriate certificates.

- C. Operations procedures.** If application is made for issue, renewal or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.

This standard is met.

AMC 10.50.035 sets forth that persons seeking the issue or transfer of a license shall comply with restrictions regarding happy hours, games or contests involving the consumption of alcohol, public transportation, notice of penalties, availability of nonalcoholic drinks, compliance determination with techniques in alcohol management (TAM), solicitation of purchase of alcoholic beverages for consumption by employees, and warning signs. The petitioner has stipulated in his application that he will abide by requirements of AMC 10.50.035.

The restaurant operates seven days a week. Alcohol sales will be "as permitted per ABC requirements, only during the hours allowed for the specific day of the week applicable".

- D. Public safety.** When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly

shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premise. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

This standard appears to be met.

According to the application the petitioner states that the employees will be trained and patron identification will be checked. At the time this report was written, no comments had been received from the Anchorage Police.

- E. Payment of taxes and debts. When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360, whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

This standard is met.

There are no delinquent Personal Property Taxes, Real Property Taxes owing at this time according to the Treasury Division.

- F. Public health. If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices injurious to public health or safety such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions. credible proof of illegal activity even if not

prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

The standard is met.

No comments were received from the Department of Health and Human Services at the time this report was written.

- G. **Municipality of Anchorage Alcoholic Beverage Licensee Compliance Form.** In order to determine whether applicants seeking issue, renewal or transfer of alcoholic beverage licenses have complied with the provisions of this chapter, applicants shall, at the request of the Assembly, submit to the municipal clerk such information as is required on a municipal form prepared by the municipal clerk known as the Municipality of Anchorage Alcoholic Beverage Licensee Compliance Form. Upon request, operators shall also provide the municipal clerk with certificates from all current employees demonstrating that those employees have successfully completed a "Liquor Service Awareness Training Program" such as the program for techniques in alcohol management (T.A.M.) as approved by the State of Alaska Alcoholic Beverage Control Board.

This form was not requested of this applicant.

DEPARTMENT RECOMMENDATION

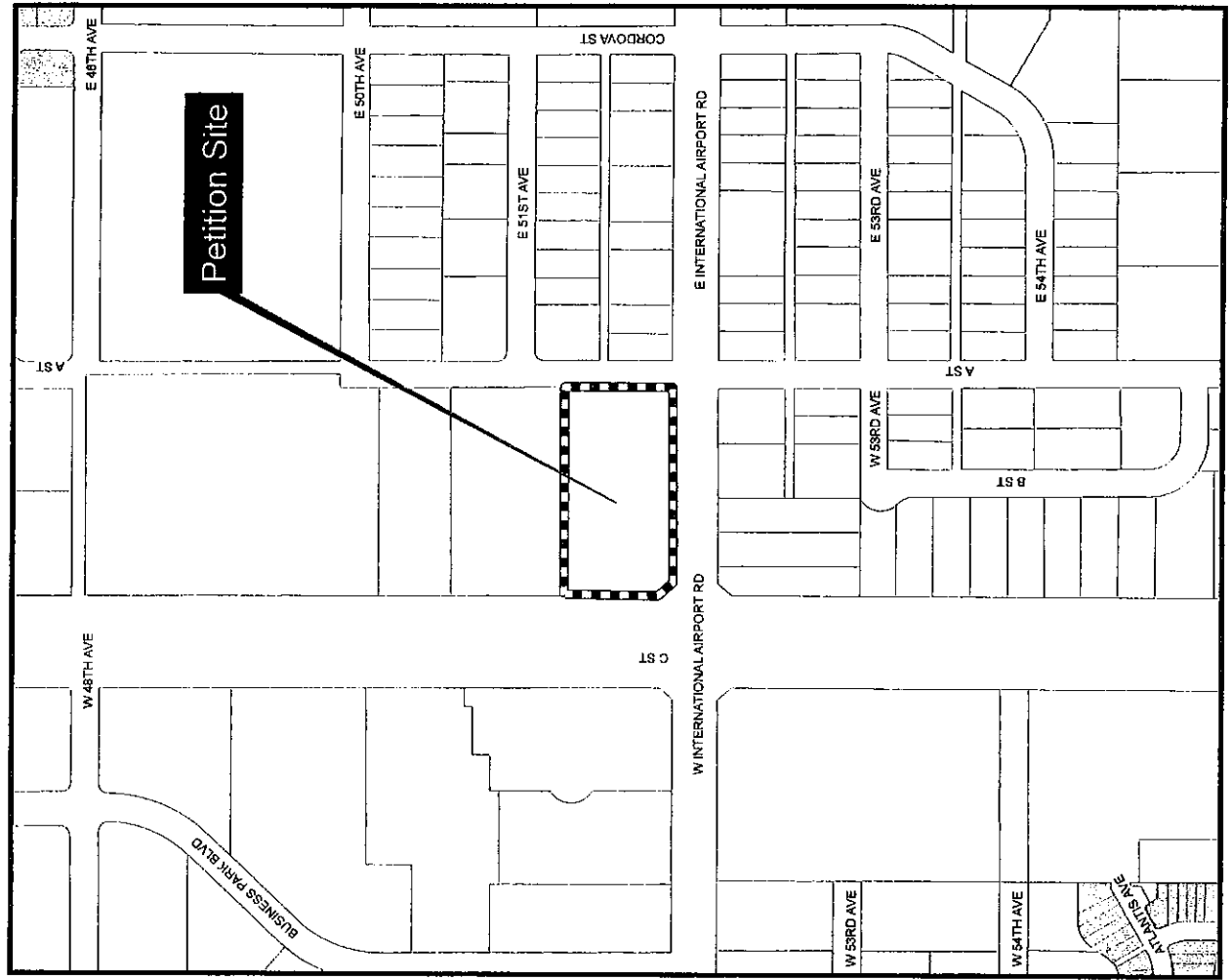
This application for an Alcoholic Beverages Conditional Use for a Beverage Dispensary Tourism Use and License and a Duplicate Beverage Dispensary Tourism Use and License in the I-1 SL (A.O. 98-96aa) District per AMC 21.40.200.B.1.k and 21.50.160 appears to meet the required standards of AMC Title 10, AMC Title 21, and State Statute 04.11.90.

If after a public hearing on the matter, the Anchorage Assembly finds that the required standards have been met; staff recommends the following conditions of approval:

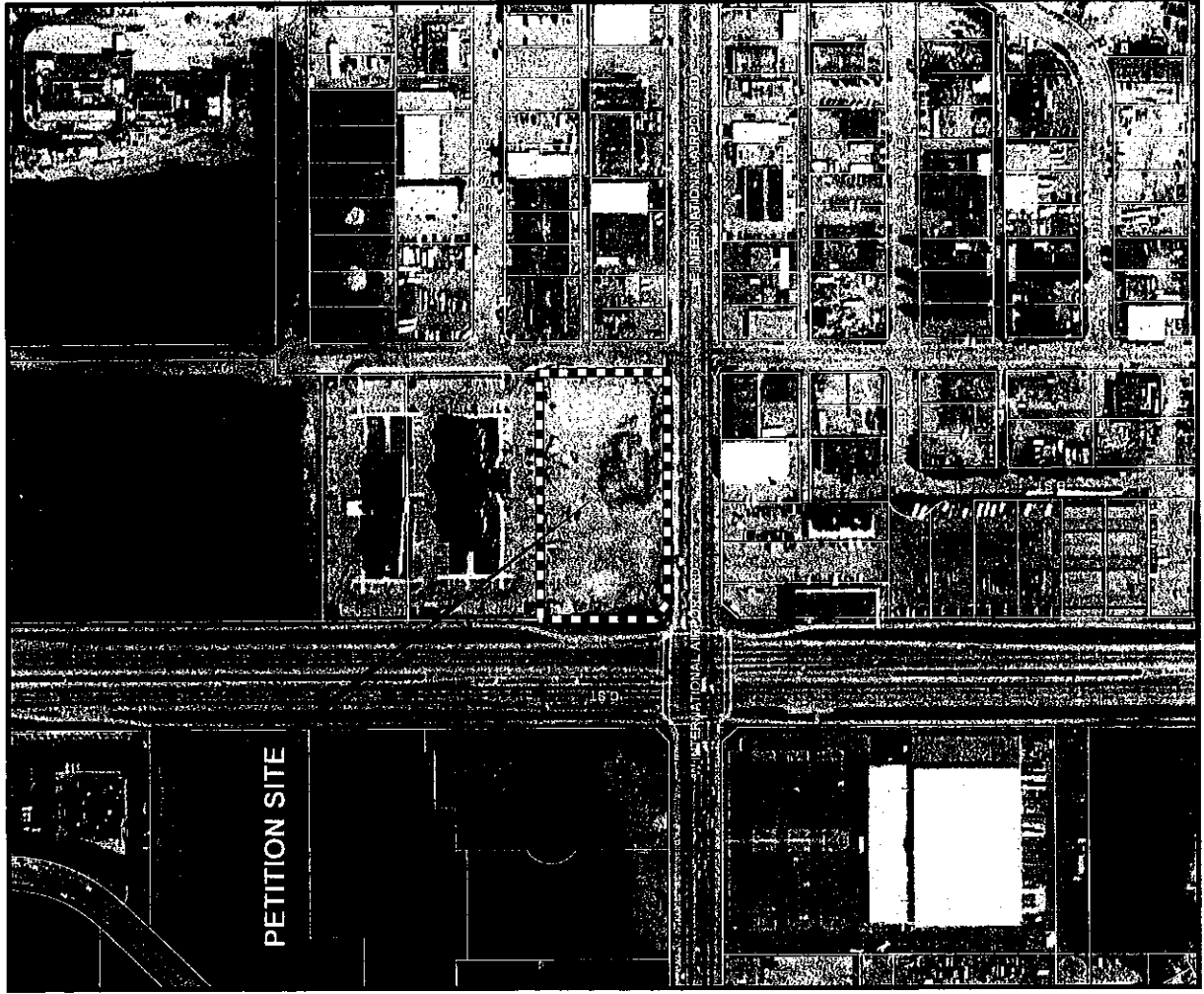
1. A notice of Zoning Action shall be filed with the District Recorder's Office within 120 days of the Assembly's approval of a final conditional use approval for a Beverage Dispensary Tourism Use and a Duplicate Beverage Dispensary Tourism Use in the I-1 SL (A.O. 98-96aa) and compliance with the other conditions set forth herein.

2. All uses shall conform to the plans and narrative submitted with this conditional use application.
3. This conditional use approval is for an Alcoholic Beverage Dispensary Tourism Conditional Use and a Duplicate Beverages Dispensary Tourism Conditional Use for the Anchorage Hospitality LLC in the I-1 SL District per AMC 21.40.200.B.1.k, AMC 21.50.160, and AMC 10.50, for Tract A, Haxby Subdivision, located within the NW ¼ of Section 31, T13N, RW, S.M., Alaska.
4. The restaurant and lounge on the first floor of the hotel will serve alcoholic beverages from 11:00am to 11:00pm. The Juno restaurant and lounge will have 2,640 square feet of floor space holding 122 people with 26 fixed chairs and 75 non-fixed chairs. The hotel will also have three function rooms on the first floor which will be catered with food and beverages, including alcoholic drinks, upon request. The function rooms will have 2,882 square feet of floor space holding 136 people and 136 non-fixed chairs. The Duplicate Beverage Dispensary Tourism Use is for the Concierge Lounge on the 6th floor of the hotel, which will serve alcoholic drinks from 5:00pm to 7:30pm. The Concierge Lounge will have 1,082 square feet holding 32 people and 30 non-fixed chairs. The on-premise sale of alcohol beverages will be seven days a week as permitted by ABC regulations. Alcoholic beverage sales will constitute approximately 25 percent to the ratio of 75 percent food sales.
5. Upon demand, the applicant shall demonstrate compliance with a liquor "Server Awareness Training Program," approved by the State of Alaska Alcoholic Beverage Control Board, such as or similar to the program for "Techniques in Alcohol Management" (TAM).
6. The use of the property by any person for the permitted purposes shall comply with all current and future Federal, State and local laws and regulations, including but not limited to laws and regulations pertaining to the sale, dispensing, service and consumption of alcoholic beverages. The owner of the property, the licensee under the Alcoholic Beverage Control license and their officers, agents and employees, shall not knowingly permit or negligently fail to prevent the occurrence of illegal activity on the property.
7. A copy of the conditions imposed by the Assembly in connection with this conditional use approval shall be maintained on the premise.

2009-021

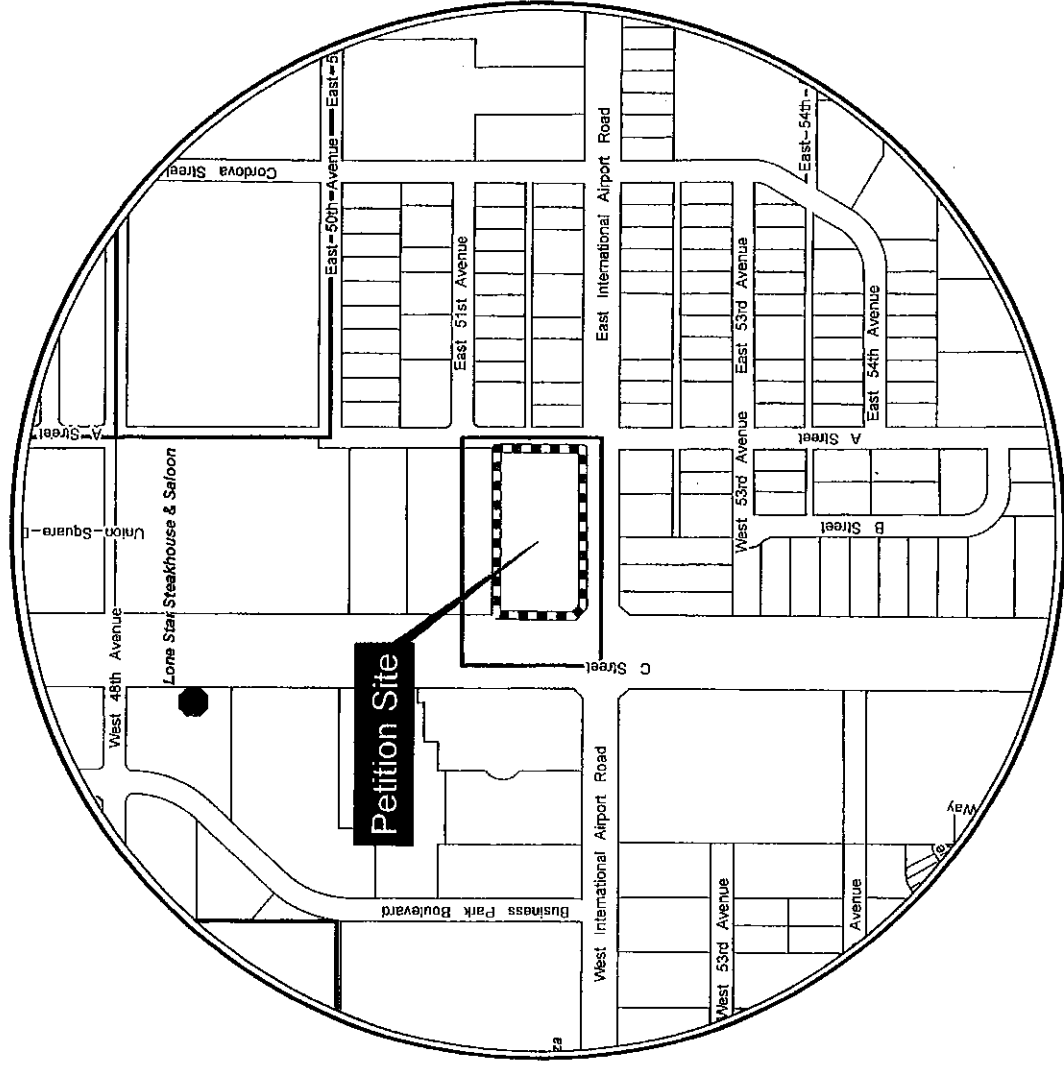


2009-021



2009-021

● EXISTING LIQUOR LICENSES WITHIN 1000'



Alcohol Existing License List Report

Case Number: 2009-021

Description: 1000'

Parcel Owner Name	Parcel Owner Address	City	Lic. Number	State	Zip	Lic. Type
SOVEREIGN LS LLC	125 VILLAGE BLVD STE 320	PRINCETON	NJ	08540	Beverage Dispensary	
Lone Star of Alaska, Inc.	4810 C St					
Steakhouse & Saloon						

Alcohol Church and School List Report

Case Number: 2009-021

Description: 200'

Parcel Owner Name:

Parcel Site Address

Description

Date: 12/26/2008

Page 1

CLERK'S OFFICE

AMENDED AND APPROVED

Date: 6-9-98

Submitted by: Assemblymembers Carlson, Meyer,
Wuerch
Prepared by: Assembly Office
For reading: May 19, 1998

ANCHORAGE, ALASKA
AO NO. 98- 96

AN ORDINANCE AMENDING THE ZONING MAP AND PROVIDING FOR THE
REZONING FROM B-3 (GENERAL BUSINESS) DISTRICT TO I-1 (LIGHT INDUSTRIAL)
DISTRICT FOR A 5.25 ACRE PARCEL OF LAND WITHIN THE SE 1/4, NW 1/4, SEC. 31,
T13N, R3W, S.M. ALASKA, LOCATED AT THE NORTHEAST CORNER OF
INTERNATIONAL AIRPORT ROAD AND C STREET, APPROXIMATE FRONTAGE 525'
ON INTERNATIONAL AIRPORT ROAD AND 436.4 ON C STREET

(Standard Community Council)(Case 98-071)

THE ANCHORAGE ASSEMBLY ORDAINS:

Section 1: The zoning map shall be amended by designating the following
described property as I-1 (Light Industrial District) zone.

A 5.25 acre parcel of land within the SE 1/4, NW 1/4, Sec. 31, T13N, R3W, S.M.
Alaska, located at the northeast corner of International Airport Road and C street,
approximate frontage 525' on International Airport Road and 436.4 on C street.

Section 2: The following design standards apply to this 5.25 acre site.

a. Landscaping: landscape plan shall indicate an increase of no less
than 20% in volume of vegetation and include a minimum planting
bed of 15 feet, in accordance with AMC 21.45.125C.1. A landscape
plan shall be provided as prepared by a person who graduated from a
college with a degree in landscape architecture, which meets the
following requirements:

- i) A planting bed width of 15 feet along the entire length of the
south and west property lines, except where driveways are
present.
- ii) Trees at an average interval of 15 feet along each property
line, with at least 40% being evergreen trees.
- iii) Evergreen trees a minimum of five feet in height with a ratio of
height to spread of no less than 5 to 3.
- iv) Deciduous trees with a minimum 2" caliber for single stemmed
specimen. Clumped form species a minimum 8 feet in height.
- v) Shrubs, a minimum of 18" in height, planted at 3 feet on center
spacing, covering a minimum of 40% of the total planting bed
area.

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- vi) Turf grass, perennial, or wildflowers covering the remainder of the planting bed area.

Section 3: The ordinance referenced in Section 1. above shall become effective upon satisfaction of the following:

- A. Prior to the rezoning becoming effective the petitioner shall submit an approved and recorded final plat to the Department of Community Planning and Development.

* See amendments below.

PASSED AND APPROVED by the Anchorage Assembly this 9th day of June, 1998.

Fay VanDerming
Chair

ATTEST:

Shirley J. Hyman
Municipal Clerk

* The following amendments were approved by the Assembly on June 9, 1998:

Section 4. The special limitations set forth in this ordinance prevail over any inconsistent provisions of Title 21 of the Anchorage Municipal Code, unless specifically provided otherwise. All provisions of Title 21 of the Anchorage Municipal Code not specifically affected by a special limitation set forth in this ordinance shall apply in the same manner as if the district classification applied by the ordinance was not subject to special limitations.

Section 5. The Director of Community Planning and Development shall change the zoning map accordingly.

Section 6. The ordinance referenced in Section 1 above shall become effective on such date as the director of the Department of Community Planning and Development determines that the special limitations set forth in Section 2 above have the written consent of the owners of the property within the area described in Section 1 above. The Director of the Department of Community Planning and Development shall make such a determination only if he/she receives evidence of the required consent within 120 days after the date on which this ordinance is passed and approved.

DEPARTMENTAL

COMMENTS

Municipality of Anchorage
Treasury Division
Memorandum

RECEIVED

JAN 09 2009

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

Date: January 8, 2009
To: Rich Cartier, Planning Dept.
From: Daisy VanNortwick, Revenue Officer
Subject: Liquor License Conditional Use Comments

Request: Conditional Use permit # 2009- 021 for Crowne Plaza Midtown Anchorage located at 109 W International Airport Rd, Anchorage AK.

We find no unpaid taxes against this property and find no reason not to grant this request.

Thanks
Daisy VanNortwick
343-6940



Municipality of Anchorage
Project Management & Engineering Department



Comments to Miscellaneous Planning and Zoning Applications

RECEIVED

DATE: January 27, 2009
TO: Jerry Weaver, Platting Officer
FROM: Sharen Walsh, P.E. – Private Development - Plan Review Engineer
SUBJECT: Comments for Assembly Public Hearing date: February 24, 2009

JAN 27 2009

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

Case No. 2009-020– A request for concept/final approval of a conditional use to permit the sales, dispensing, or service of alcoholic beverages.

Project Management and Engineering has no comment on the request for a conditional use.

Case No. 2009-021– A request for concept/final approval of a conditional use to permit a hotel serving alcoholic beverages.

Project Management and Engineering has no comment on the request for a conditional use.

Case No. 2009-022– A request for concept/final approval of a conditional use to permit an alcoholic beverage package store.

Project Management and Engineering has no comment on the request for a conditional use.

Case No. 2009-027– A request for concept/final approval of a conditional use to permit the sales, dispensing, or service of alcoholic beverages.

Project Management and Engineering has no comment on the request for a conditional use.



MUNICIPALITY OF ANCHORAGE
Traffic Department



MEMORANDUM

DATE: January 21, 2009
TO: Jerry T. Weaver, Platting Supervisor, Planning Department
THRU: Leland R. Coop, Associate Traffic Engineer
FROM: Mada Angell, Assistant Traffic Engineer
SUBJECT: Traffic Engineering and Transportation Planning Comments for February 24 Assembly Public Hearing

RECEIVED

JAN 22 2009

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

09-020 Mile 7 Arctic Valley Road; Conditional Use to permit sale of alcoholic beverages; Arctic Valley; Grid SW 0954

Traffic Engineering and Transportation Planning have no comment.

09-021 Haxby; Conditional Use to permit sale of alcoholic beverages; Crown Plaza Hotel; Grid 1830

Traffic Engineering and Transportation Planning have no comment

09-022 Dimond Industrial; Conditional Use to permit alcoholic package store; Wal-Mart; Grid 2331

Traffic Engineering and Transportation Planning have no comment.

09-027 Graham; Conditional Use to permit sale of alcoholic beverages; Midnight Sun Brewing Co; Grid 2233

Traffic Engineering and Transportation Planning have no comment.

E-MAILED

RECEIVED

Municipality Of Anchorage
ANCHORAGE WATER & WASTEWATER UTILITY

JAN 21 2009

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

MEMORANDUM

DATE: January 13, 2009

TO: Jerry Weaver, Zoning Division Administrator, Planning Department

FROM: Paul Hatcher, Engineering Technician III, AWWU PHH

SUBJECT: Zoning Case Comments
Planning & Zoning Commission Hearing February 24, 2009
Agency Comments due January 27, 2009

AWWU has reviewed the materials and has the following comments.

09-020 T13N R1W SEC 5 & 6 ARCTIC VALLEY SKI AREA, A request
concept/final approval of a conditional use to permit: the sales,
dispensing, or service of alcoholic beverage, SW0854

1. The subject area is outside the AWWU certificated water service area.
2. AWWU has no objection to this conditional use.

09-021 HAXBY TR A, A request concept/final approval of a conditional use to
permit: a hotel serving alcoholic beverages, SW1830

1. AWWU water mains located in International Airport Road and A Street are currently available to this parcel.
2. AWWU sanitary sewer mains located in International Airport Road and A Street are currently available to this parcel.
3. AWWU has no objection to this conditional use.

09-022 DIMOND INDUSTRIAL BLK 2 LT 6A, A request concept/final approval of
a conditional use to permit: an alcoholic beverage package store, Grid
SW2331

1. AWWU water mains located in Old Seward Highway and rear lot line easement are currently available to this parcel.
2. AWWU sanitary sewer mains located in easements along northern and western property lines are currently available to this parcel.
3. AWWU has no objection to this conditional use.

Fire Plan Review Comments:

S11597-2	East Addition	No Objection
S11719-1	Charles Smith Sub. #2	No Objection
2009-012	Ordinance amending title 21	No Comment
2009-013	Rezone to I-3, eklutna power plant	No Objection
2009-014	Beacon Park	No Objection
2009-016	Goldenview Reservoir	No Objection
2009-017	Tudor Center SCF, Health Care Fac. Comment	No Objection

What is the height of the proposed building? Per IFC D104.1 buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have at least two means of fire apparatus access for each structure.

2009-018	Alaska Village	No Objection
S11680-2	Creekview Estates	No Objection
S11717-1	Anchorage Townsite	No Objection
S11718-1	Bella Vista sub. Add. #2	No Comment
2009-015	East Northern Lights Sound Barrier	No Objection
2009-023	PAC	No Comment
2009-020	Arctic Valley ski club	No Objection
<u>2009-021</u>	Haxby Sub	No Objection
2009-022	Dimond Industrial	No Objection

RECEIVED

DEC 31 2008

MUNICIPALITY OF ANCHORAGE
PLATTING DIVISION

APPLICATION

Application for Conditional Use Retail Sale Alcoholic Beverages

City of Anchorage
Planning Department
PO Box 146531
Anchorage, Alaska 99519-0531

Please fill in the information asked for below.

PETITIONER*		PETITIONER REPRESENTATIVE (IF ANY)	
Name (last name first)	<i>Anchorage Hospitality, LLC</i>	Name (last name first)	<i>Lounsbury & Associates, Inc.</i>
Mailing Address	<i>621 W. MALLON AVENUE SUITE 509, SPARKS, WA 99201</i>	Mailing Address	<i>5300 A STREET ANCHORAGE, ALASKA 99518</i>
Contact Phone: Day: <i>509.624.1170</i> Night: <i>---</i>		Contact Phone: Day: <i>907.272.5451</i> Night: <i>---</i>	
FAX: <i>509.624.1255</i>		FAX: <i>907.272.9665</i>	
E-mail: <i>CHL@anchorage.com</i>		E-mail: <i>K.Ayers@lounsburyinc.com</i>	

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

PROPERTY INFORMATION

Property Tax #100-000-00-000: *009 - 221-28-000*

Site Street Address: *109 W. INTERNATIONAL AIRPORT ROAD -*

Property Owner (if not the Petitioner):

Current legal description: (use additional sheet if necessary)

TRACT A, HANBY SUBDIVISION

Zoning: *1-1SL* Acreage: *2.45* Grid # *SW183D*

ALCOHOLIC BEVERAGE CONTROL BOARD LICENSE PROPOSED

☐ Beverage Dispensary	☐ Private Club	☐ Restaurant, exempt
☒ Beverage Dispensary-Tourism	☐ Public Convenience	☐ Theater
☐ Brew Pub	☐ Recreational	☐ Other (Please explain):
☐ Package Store	☐ Restaurant	

Is the proposed license: ☒ New ☐ Transfer of location: ABC license number: _____

Transfer license location: _____

Transfer licensed premises doing business as: _____

I hereby certify that I am (I) have been authorized to act for) owner of the property described above and that I petition for a retail sale of alcoholic beverages conditional use permit in conformance with Title 21 of the Anchorage Municipal Code of Ordinances. I understand that payment of the application fee is nonrefundable and is to cover the costs associated with processing this application, and that it does not assure approval of the conditional use. I also understand that assigned hearing dates are tentative and may have to be postponed by Planning Department, Municipal Clerk, or the Assembly for administrative reasons.

Date: *12-2-08* Signature (Agents must provide written proof of authorization): *Anchorage Hospitality, LLC* *[Signature]* *MEMBER*

COMPREHENSIVE PLAN INFORMATION

Anchorage 2020 Urban/Rural Services: ☒ Urban ☐ Rural

Anchorage 2020 West Anchorage Planning Area: ☐ Inside ☒ Outside

Anchorage 2020 Major Urban Elements: Site is within or abuts:

☐ Major Employment Center ☐ Redevelopment/Mixed Use Area ☐ Town Center

☐ Neighborhood Commercial Center ☐ Industrial Center

☐ Transit - Supportive Development Corridor

Eagle River-Chugiak-Peters Creek Land Use Classification:

☐ Commercial ☐ Industrial ☐ Parks/opens space ☐ Public Land Institutions

☐ Marginal land ☐ Alpine/Slope Affected ☐ Special Study

☐ Residential at _____ dwelling units per acre

Girdwood - Turnagain Arm

☐ Commercial ☐ Industrial ☐ Parks/opens space ☐ Public Land Institutions

☐ Marginal land ☐ Alpine/Slope Affected ☐ Special Study

☐ Residential at _____ dwelling units per acre

ENVIRONMENTAL INFORMATION (all or portion site affected)

Wetland Classification: ☒ None ☐ "C" ☐ "B" ☐ "A"

Avalanche Zone: ☒ None ☐ Blue Zone ☐ Red Zone

Floodplain: ☒ None ☐ 100 year ☐ 500 year

Seismic Zone (Harding/Lawson): ☐ "1" ☐ "2" ☒ "3" ☐ "4" ☐ "5"

RECENT REGULATORY INFORMATION (Events that have occurred in last 5 years for all or portion site)

☒ Rezoning - Case Number: 2098-96

☐ Preliminary Plat ☐ Final Plat - Case Number(s): _____

☒ Conditional Use - Case Number(s): 2006-043

☐ Zoning variance - Case Number(s): _____

☐ Land Use Enforcement Action for _____

☐ Building or Land Use Permit for _____

☐ Wetland permit: ☐ Army Corp of Engineers ☐ Municipality of Anchorage

DOCUMENTATION

Required: ☒ Site plan to scale depicting: building footprints; parking areas; vehicle and pedestrian circulation; lighting; landscaping; signage; and licensed premises location.

☒ Building plans to scale depicting: floor plans indicating the location of sales and service areas; building elevations (photographs are acceptable).

☒ Photographs of premises from each street frontage that include and show relationship to adjacent structures and the premises visible street address number.

☒ Narrative: explaining the project; construction, operation schedule, and open for business target date.

☒ Copy of a zoning map showing the proposed location.

☒ Copy of completed Alcoholic Beverage Control Board liquor license application form including all drawings and attachments, if filed with ABC Board.

Optional: ☐ Traffic impact analysis ☐ Economic impact analysis ☐ Noise impact analysis

PROPERTY OWNER AUTHORIZATION* (If petitioner is not property owner)

I (WE) hereby grant permission to and acknowledge that person shown as the petitioner on this application is applying for a conditional use permit for the retail sales of alcoholic beverages on a property under (MY/OUR) ownership and that as part of the conditional use permit process the Assembly may apply conditions which will be (MY/OUR) responsibility to satisfy.

12-2-08 Anchorage Hospitality, LLC *[Signature]* MEMBER

Date Signature

*Report additional petitioners or disclose other co-owners on supplemental form. Failure to divulge other beneficial interest owners may delay processing of this application.

FACILITY OPERATIONAL INFORMATION

What is the proposed or existing business name (Provide both if name is changing): "June" - Hotel Restaurant

Anchorage Hospitality, LLC dba Crown Plaza Midtown Anchorage - Hotel

What is the gross leaseable floor space in square feet? Restaurant/Lounge ("June") = 2,640

Meeting/Function Space = 2,882 Concierge Lounge (6th Floor) = 1,082

What is the facility occupant capacity? Restaurant/Lounge ("June") = 122

Meeting/Function Space = 136 Concierge Lounge = 32

What is the number of fixed seats (booth and non movable seats)? Restaurant/Lounge ("June") = 26

What is the number non-fixed seats (movable chairs, stools, etc.)? Restaurant/Lounge ("June") = 75

Meeting/Function Space = 136 (max.) Concierge Lounge = 30

What will be the normal business hours of operation? *ESTIMATES*

Restaurant/Lounge ("June") = 6 am - 11 pm Concierge Lounge = 6:30 am - 10 am

What will be the business hours that alcoholic beverages will be sold or dispensed? *ESTIMATES*

Restaurant/Lounge ("June") = 11 am - 11 pm Concierge Lounge = 5 pm - 7:30 pm

What do you estimate the ratio of food sales to alcohol beverage sales will be?

25 % Alcoholic beverage sales* Percentages based on total food and beverage sales - estimates

75 % Food sales*

Type of entertainment proposed: (Mark all that apply)

☒ Recorded music ☐ Live music ☐ Floor shows ☐ Patron dancing ☒ Sporting events ☐ Other ☐ None

Do you propose entertainment or environmental conditions in the facility that will meet the definition of "indecent material" or "adult entertainment" as set forth by AMC 8.05.420 Minors-Disseminating indecent material or AMC 10.40.050 Adult oriented establishment? ☐ Yes ☒ No

DISTANCE FROM CHURCHES, DAY CARE, AND SCHOOLS

Locate and provide the names and address of all churches, day care, and public or private schools within 200 feet of the site property lines

Name

Address

None

PACKAGE STORES

Provide the projected percentage of alcoholic product inventory in the store where the retail unit price is:

% less than \$5.00	
% \$5.00 to \$10.00	N/A
% \$10.00 to \$25.00	
% greater than \$25.00	

CONDITIONAL USE STANDARDS

The Assembly may only approve the conditional use if it finds that all of the following 4 standards are satisfied. Each standard must have a response in as much detail as it takes to explain how your project satisfies the standard. The burden of proof rests with you. Use additional paper if needed.

Explain how the proposed conditional use furthers the goals and policies of the comprehensive development plan and conforms to the comprehensive development plan in the manner required by AMC 21.05.

THIS FULL-SERVICE LOGGING FACILITY, INCLUDING THE FOOD AND BEVERAGE OUTLETS, CONTINUE THE DEVELOPMENT PATTERNS FOR THE AREA AND WILL DRAW COMPLEMENTARY USES TO THE AREA.

Explain how the proposed conditional use conforms to the standards for that use in this title and regulations promulgated under this title.

THE PROPOSED USE AND ASSOCIATED SITE/BUILDING PLANS ARE IN CONFORMANCE WITH ALL CURRENT REGULATIONS AND POLICIES. ALL OPERATIONS, UPON AND PRIOR TO OPENING, WILL ADHERE TO THE REQUIREMENTS AND LAWS SET FORTH BY THE STATE OF ALASKA - ALASKA BEVERAGE CONTROL BOARD AND MUNICIPALITY OF ANCHORAGE.

Explain how the proposed conditional use will be compatible with existing and planned land uses in the surrounding neighborhood and with the intent of its use district.

THE PROPOSED CONDITIONAL USE WILL COMPLIMENT THE FULL-SERVICE FOOD AND BEVERAGE OPERATIONS AT THE HOTEL, WHILE CONTINUING THE DEVELOPMENT PATTERNS FOR THE AREA.

Explain how the proposed conditional use will not have a permanent negative impact on the items listed below substantially greater than that anticipated from permitted development:

1. Pedestrian and vehicular traffic circulation and safety.

SEE ATTACHMENT "A"

2. The demand for and availability of public services and facilities.

SEE ATTACHMENT "A"

3. Noise, air, water or other forms of environmental pollution.

SEE ATTACHMENT "A"

4. The maintenance of compatible and efficient development patterns and land use intensities.

SEE ATTACHMENT "A"

STANDARDS CHAPTER 10.50 ALCOHOLIC BEVERAGES

In the exercise of its powers and under AS 04.11.480 and 15 AAC 104.145 to protect issue, renewal and transfer of alcoholic beverage licenses within the Municipality of Anchorage, the Assembly shall consider whether the proposed license meets each and every factor and standard set forth below.

Concentration and land use. Whether transfer of location or issue of the requested license will negatively impact the community through an increase in the concentration of uses involving the sale or service of alcoholic beverages within the area affected and will conform to the separate standards of AMC 21.50.020.

How many active liquor licenses are located on the same property as your proposed license?

None

Within 1,000 feet of your site are how many active liquor licenses?

ONE ESTABLISHMENT - LAKE STAR STEAKHOUSE

How would you rate this area's license concentration on a scale of 1 to 5 with 5 = high

3 - medium

How many active liquor licenses are within the boundaries of the local community council?

Unknown - N/A

In your opinion, is this quantity of licenses a negative impact on the local community?

IT IS OUR OPINION THAT THE QUANTITY OF LICENSES DOES NOT NEGATIVELY IMPACT THE LOCAL COMMUNITY. THE PROPOSED CONDITIONAL USE WILL COMPLEMENT CURRENT SURROUNDING USES AND PROMOTES THE DEVELOPMENT PLAN FOR THE AREA.

Training. If application is made for issue, renewal or transfer of a beverage dispensary license, restaurant or eating place license, or package store license, whether the applicant can demonstrate prospective or continued compliance with a Liquor "Server Awareness Training Program approved by the State of Alaska Alcoholic Beverage Control Board, such as or similar to the program for techniques in alcohol management (T.A.M.). Until such plan is approved, training by a licensee's employees in the T.A.M. shall constitute compliance with this ordinance.

How many employees in direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program? All employees in direct contact with alcohol will be trained in accordance with the Alcoholic Beverage Control Board's Liquor Server Awareness Training Program.

Operations procedures. If application is made for issue, renewal, or transfer of a license, whether the applicant can demonstrate prospective or continued compliance with operations procedures for licensed premises set forth in Section 10.50.035 of this code.

- | | | |
|---|--|---|
| ☐ Yes | ☒ No | Happy hours? |
| ☐ Yes | ☒ No | Games or contests that include consumption of alcoholic beverages? |
| ☐ Yes | ☒ No | Patron access and assistance to public transportation? |
| ☒ Yes | ☐ No | Notice of penalties for driving while intoxicated posted or will be posted? |
| ☒ Yes | ☐ No | Non-alcoholic drinks available to patrons? |
| ☐ Yes | ☒ No | Solicitation or encouragement of alcoholic beverage consumption? |

Public safety. When application is made for the renewal or transfer of location or transfer of ownership of a beverage dispensary license restaurant or eating place license, or package store license, the Assembly shall consider whether the operator can demonstrate the ability to maintain order and prevent unlawful conduct in a licensed premises. In determining the operator's demonstrated ability to maintain order and prevent unlawful conduct, the Assembly may consider police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection. For purposes of this section and Section 10.50.035 "licensed premises" shall include any adjacent area under the control or management of the licensee.

What are the proposed precautions to maintain order and prevent unlawful conduct at the licensed premises?

inside facility:

N/A

outside facility:

N/A

Payment of taxes and debts. When application is made for renewal of a license the assembly shall consider, pursuant to AS 4.11.330, whether the applicant is delinquent in payment of taxes owed to the Municipality. When application is made for transfer of ownership of a license the Assembly shall consider, pursuant to AS 4.11.360, whether the municipality has received either payment or adequate security, for the payment of any debts or taxes, including any estimated taxes for the current year, arising from the conduct of the licensed business. Adequate security* for the payment of debts and taxes may be in the form of: 1) escrowed funds sufficient to pay the debts and taxes claimed and any escrow fees; 2) actual payment of debts and taxes claimed; or, 3) a guarantee agreement in accordance AMC 10.50.030. Any guarantee agreement shall be in writing, signed by the transferor, transferee and Municipality

☐ Yes ☐ No Are real estate and business property taxes current? *N/A*
☐ Yes ☐ No Are there any other debts owed to the Municipality of Anchorage?

Public health. If application is made for the renewal or transfer of location or transfer of ownership of a license, the Assembly shall consider whether the operator has engaged in a pattern of practices injurious to public health or safety, such as providing alcohol to minors or intoxicated persons, committing serious violations of State law relevant to public health or safety, or other actions within the knowledge and control of the operator which place the public health or safety at risk. In determining if a pattern of practices injurious to public health or safety exists, the Assembly may consider criminal convictions, credible proof of illegal activity even if not prosecuted, police reports, testimony presented before the Assembly, written comments submitted prior to or during the public hearing, or other evidence deemed to be reliable and relevant to the purpose of this subsection.

☐ Yes ☐ No As the applicant and operator can you comply? If no explain

N/A

Attachment "A"

1. Pedestrian and vehicular traffic circulation and safety.

Pedestrian and vehicular circulation is provided from A Street which has been constructed by the property owner. There are planned sidewalks around the hotel serving the parking areas and connecting to A Street allowing safe movement and circulation of pedestrians and vehicles. Service of alcoholic beverages at the Property will be conducted by trained staff, in accordance with the requirements of the Alcoholic Beverage Control Board, while the Property will be operated by an experienced team focused on the safety of its guests and patrons – none of this will have a negative impact on pedestrian and vehicular traffic circulation and safety.

2. The demand for and availability of public services and facilities.

Public facilities will be extended by the property owner. The development as a whole will provide for additional public facilities including: roads, sidewalks, lighting, water, sewer and drainage improvements to serve not only this development but undeveloped adjoining areas. The proposed conditional use for this development will not impact schools or create any significant demand for services such as police and fire protection.

3. Noise, air, water or other forms of environmental pollution.

The development will be constructed in conformance with all applicable laws, standards and regulations pertaining to these items. The use will not have any significant noise associated with it, nor will it create any type of environmental pollution. Surface water quality from parking areas will be treated on-site in bio-filtration swales prior to being piped off-site to municipal storm drain systems. Site lighting will be designed to municipal standards. Trash storage will be in contemporary containers that will be visually screened from view by a roofed structure.

4. The maintenance of compatible and efficient development patterns and land use intensities.

As previously stated, this use will set a standard for other uses in this area which will feed off each other to ensure a successful development. This is an important block of land as it continues the growth of the Midtown business areas as a destination for traveler, corporations and service industries visiting and establishing their presence in Anchorage.



www.thehotelgroup.com

RECEIVED

December 15, 2008

Municipality of Anchorage
Planning Department
4700 Elm Street
Anchorage, AK 99507

DEC 18 2008

PLANNING DEPARTMENT

RE: Crowne Plaza Midtown Anchorage
Conditional Use – Retail Sale of Alcoholic Beverages

Ms. Angela Chambers:

Enclosed, please find the proper payment of \$4,000 required of Anchorage Hospitality, LLC by the Municipality Anchorage, for submission of a Conditional Use – Retail Sales of Alcoholic Beverages Application for the Crowne Plaza Midtown Anchorage. Please send the previous check to my attention below so that it can be voided on our end.

Thanks again for contacting us regarding the incorrect payment. Please let me know if there is anything else we can do to help the process move forward.

Again, we would appreciate it if you will send all correspondence and or questions regarding the application to the following:

Anchorage Hospitality, LLC Phone: (425) 248-2979
c/o The Hotel Group Holdings, LLC. Fax: (425) 672-8280
Attn: Jason C. Rabadoux
110 James Street, Suite 102
Edmonds, WA 98020

Warmest regards,
THE HOTEL GROUP HOLDINGS, LLC as managing agent for
Anchorage Hospitality, LLC

Jason C. Rabadoux
Real Estate Specialist

Enclosures

Narrative: Crowne Plaza Hotel – Midtown Anchorage

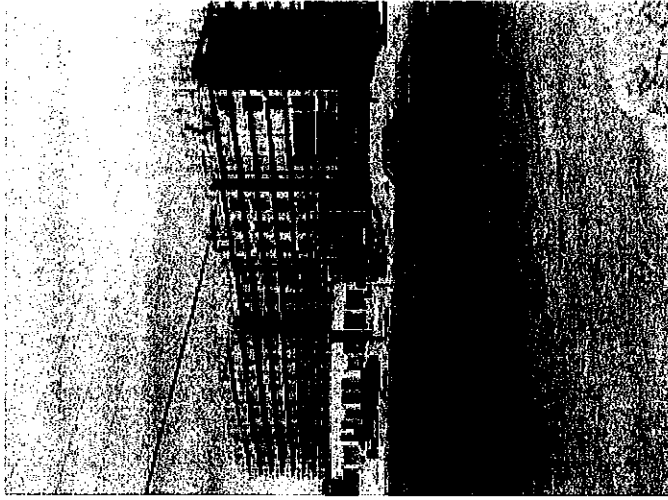
Anchorage Hospitality, LLC (Ownership) has submitted application for a Beverage Dispensary Tourism Liquor License ("Juno", Restaurant/Lounge) to the State of Alaska – Alcoholic Beverage Control Board, for the Crowne Plaza Midtown Hotel – Anchorage; this application has been processed. A duplicate Beverage Dispensary Tourism License (Concierge Lounge, 6th floor) application is currently in process and has not yet been submitted. As such, we request that review and consideration of the Conditional Use Application for this Property include both the parent and duplicate licenses.

The 165-room Crowne Plaza Midtown Anchorage is an upscale full-service lodging facility, located at 109 West International Airport Road in Midtown Anchorage, with a planned opening in April 2009. Positioned at the intersection of West International Airport Road and C Street, the Hotel is well under construction; the first through sixth floors have been steel-framed, while plumbing, electrical and roofing is currently underway. Upon completion the Crowne Plaza will feature upscale guestrooms, nearly 5,000 square feet of meeting and function space (including pre-function space), a restaurant and lounge ("Juno"), indoor swimming pool, spa and a fitness center, among six floors. The Hotel will also offer executive suites on the top two floors, and a concierge lounge on the sixth floor, which will provide casual food, drinks and other amenities to members of Crowne Plaza's Priority Club preferred guest/frequent stay program. The lodging facility will be fully managed, operated, and open for business 24 hours a day, 7 days a week.

The Crowne Plaza will feature one primary food and beverage outlet, Juno (restaurant/lounge – parent license), and two ancillary food and beverage outlets including the banquet facilities and concierge lounge (duplicate license). Located within the lobby area on the first floor, Juno will be open daily from 6 am to 11 pm, serving breakfast, lunch and dinner. Comprised of both formal seating and a lounge/bar area, Juno will cater to both guests of the Hotel and residents of the community; alcoholic beverages will be served from 11 am to 11 pm. As a complement to the facility's food and beverage operations, the Hotel will also feature three function rooms, which will allow the Hotel to accommodate meetings and small receptions; food and beverage service will be available upon request. Finally, the Concierge Lounge will be located on the top floor of the Hotel, providing light food and beverage to Crowne Plaza Priority Club members during select morning and evening hours. The Concierge Lounge will be open throughout the day, with select beer and wine served between 5 pm and 7:30 pm. It is important to note that in order to provide a safe lodging and dining environment for both guests of the Hotel and members of the community, Anchorage Hospitality, LLC (Ownership) will require all employees of the food and beverage operations to complete Liquor Server Awareness Training, approved by the State of Alaska – Alcoholic Beverage Control Board.

Anchorage Hospitality, LLC believes that the retail sale of alcoholic beverages at the Crowne Plaza is both fitting and complementary to the food and beverage operations and full-service nature of the lodging facility. As Anchorage's vibrant business hub continues to prosper, the lodging, dining and meeting accommodations offered by the Crowne Plaza Midtown will satisfy the growing need for a full-service lodging facility in the Midtown area. In addition to delivering a service-focused business to the community, the Hotel will promote the City's development plan, while also generating substantial tax revenues, and thus economic impact, to the surrounding community. The new hotel is expected to add 50 full-time positions to the community and additional seasonal employees as well.

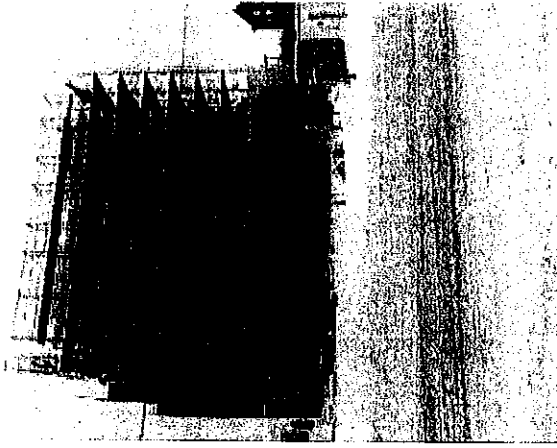
The Hotel is owned by Anchorage Hospitality, LLC, a partnership of A&A Construction out of Spokane Washington, who owns seven additional properties in Alaska; those lodging facilities include: Holiday Inn Express Anchorage Airport, Microtel Inn & Suites Anchorage, Comfort Inn Anchorage, Fairfield Inn & Suites Anchorage, Motel 6 Anchorage, Holiday Inn Express & Suites Fairbanks, and the Holiday Inn Express Seward.



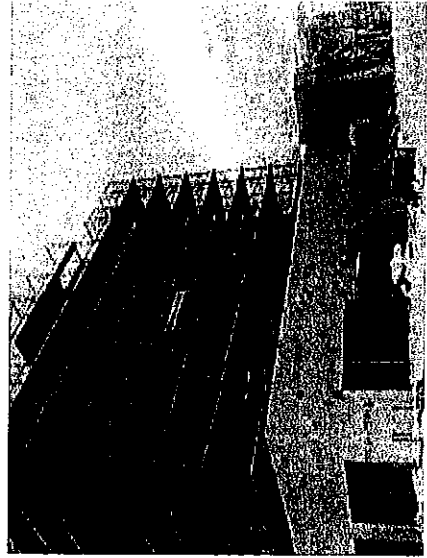
South Façade (facing W. International Airport Rd.)



North Façade



East Façade (facing A Street)



West Façade (facing C Street)

NOTE: THIS PROJECT & EXISTING HOTEL TO NORTH HAVE SAME OWNERSHIP.

RELATIVE EXISTING PARKING STALLS & CURBING OF EXISTING HOTEL PARKING LOT NORTH OF PROPERTY LINE TO ALLOW FOR CONNECTING DRIVEWAY AS SHOWN. INSTALL NEW CURBING & PAVEMENT TO MATCH CURBING AND DRIVEWAY OF THIS PROJECT. REFER TO CIVIL DRAWINGS FOR DETAILED DESIGN.

1'-0" HORN WOOD FENCE
20'0" OVERHANG PER
U.D.A. PLANNING CODE.

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U.D.A. PLANNING CODE.

WEST INTERNATIONAL AIRPORT ROAD

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"

GENERAL SITEWORK NOTE:

SEE CIVIL ENGINEERING DRAWINGS FOR: BENCH MARK, CONTROL POINTS, DIMENSIONS, & CURB RAMP, DRIVEWAY PAVEMENTS, STREETFRONT DRIVEWAY, BALKS, CURBS, UTILITY PADS, & TRASH ENCLOSURE DESIGN. STORM & INFILTRATION DRAINAGE DESIGN. SANITARY DRAINAGE DESIGN. URBAN DESIGN. TEMPORARY EROSION CONTROL DESIGN. ACCESSIBILITY DESIGN OF RAMP, CURB CUTS, TACTILE WARNING STRIPS AT TRANSITIONS, PAINTED WALK ACCESS, STAIRS, PAINTED BULK AISLE STRIPING, AND POST SQUARE, AND TYPICAL PAINTED PARKING STALL STRIPING, TRAFFIC DIRECTION ARROWS.

LANDSCAPE NOTE:

SEE LANDSCAPE DRAWINGS FOR LANDSCAPE PLAN LAYOUT, LIVE PLANT & PLANTING MATERIALS SPECIFICATIONS.

CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, AND CORRECT BEFORE IMPROVING MATERIALS TO REMAINING FORM. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.

SLOPED CEMENT BUSH
CONC. FILLED STANDARD
STEEL PIPE, PAINTED
STALL TYP. BUT PROVIDE
PROVIDE 1'-4" DIA. PIPE & GAS
LETTER & POSITION @ 6" CLEAR
DIAGONALLY FROM REAR
CORNERS.
DRIVEWAY PAVEMENT
15" DUAL-3"-3" DEEP CONC.
OVER-SLOPE EXPOSED TOP
1" TO STREET DRIVE SURFACE.
COMPACTED SUBSURFACE PER
DRIVEWAY CIVIL DESIGN.

PIPE BOLLARD

AT 1/4" SCALE

180 CAR STALLS (10'x20') ON SITE WITHIN PROPERTY LINES
INCLUDES 1 WAY ACCESSIBLE & 5 TYPE ACCESSIBLE STALLS
ADDITIONAL PARKING TO NORTH FOR SHARED PARKING AGREEMENT
2 TYPE B BERTHS LOCATED AT RECEIVING (BUILDING NORTH SIDE)
1 TYPE B BERTH UNDER 14'-2" CLEAR HEIGHT PORTE COCHERE

TYPICAL 4" PAINTED STRIPE
FOR TYP. 5' x 18' CAR STALL

SEE ROCK RETAINING WALL THIS AREA PER CIVIL DRAWINGS

CONC. WALK CONTINUATION- SEE CIVIL DWGS

SEE FLOOR PLANS FOR BUILDING &
PORTE COCHERE DIMENSIONS

LANDSCAPE

CONC. WALK

STAMPED CONCRETE UNDER PORTE
COCHERE PER LANDSCAPE DRAWINGS

ROOF OVERHANG

PAINTED BALK

ENTRY DRIVEWAY

CONC. WALK

NEW ROOF OVERHANG

PAINTED BALK

CONC. WALK

NEW ROOF OVERHANG

PAINTED BALK

CONC. WALK

NEW ROOF OVERHANG

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PAINTED BALK

CONC. WALK

NEW ROOF OVERHANG

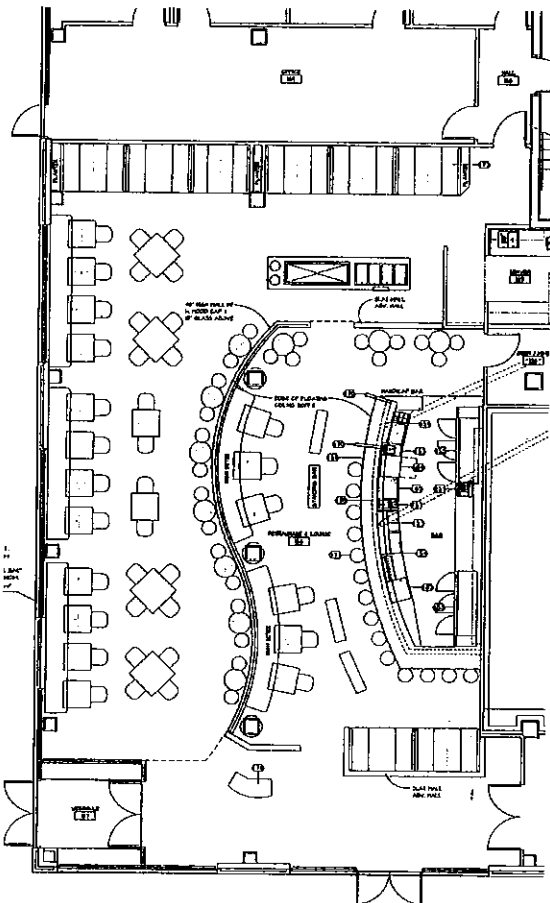
PAINTED BALK

CONC. WALK

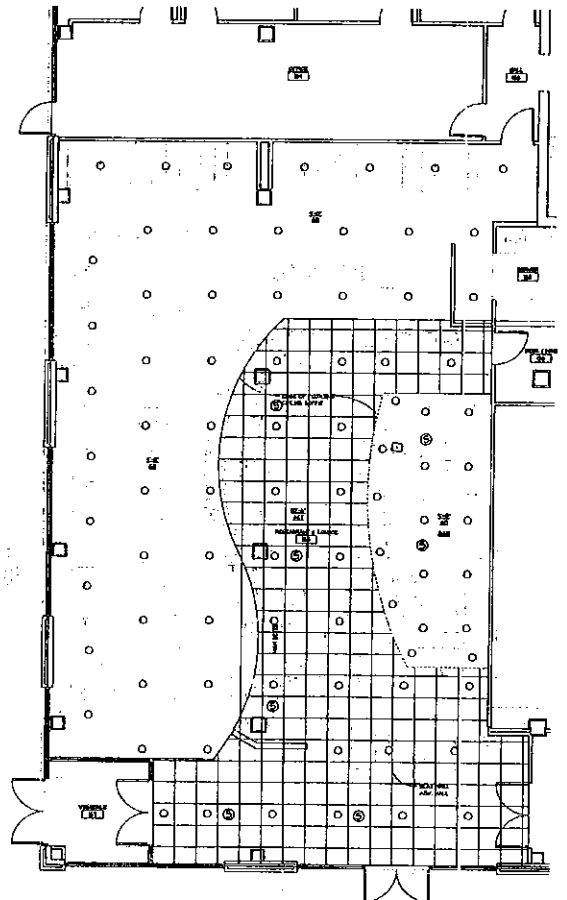
NEW ROOF OVERHANG

PAINTED BALK

The drawing shows a cross-section or elevation of a building. A series of vertical dashed lines are drawn across the facade, with small circles at the top. These lines likely represent a structural grid or a design system for the building's facade. The building itself has a complex, multi-story structure with various levels and setbacks.



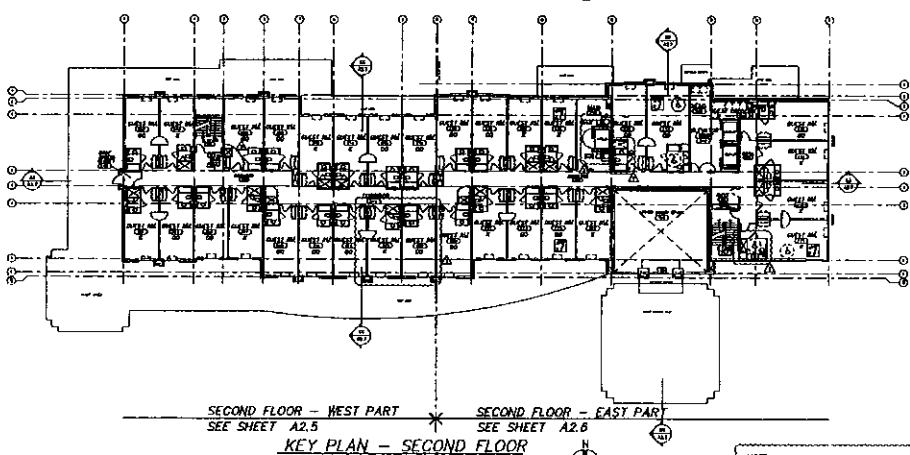
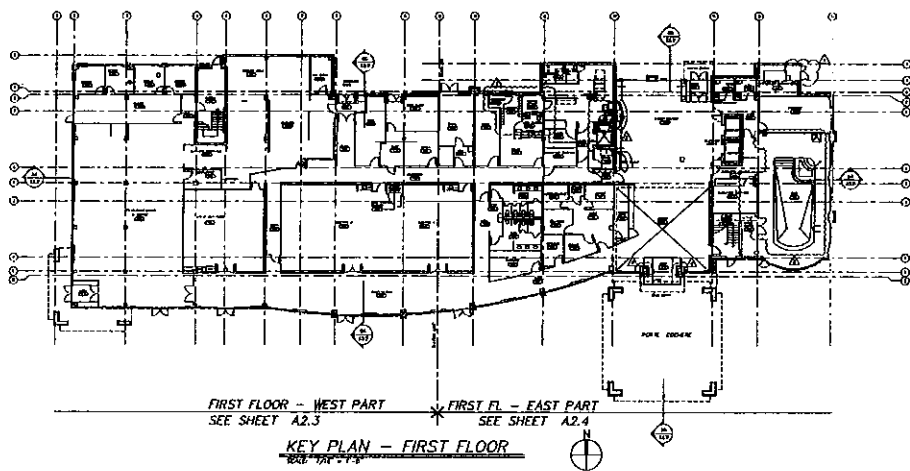
1 RESTAURANT DINING & LOUNGE #168 FLOOR PLAN



2 RESTAURANT DINING & LOUNGE #168 CEILING PLAN

BUILDING OCCUPANCY LOAD DATA				
ROOM/SPACE NAME (RMS)	SQ. FT. AREA	SQ. FT./BOC	OCC. COUNT	REMARKS
FIRST FLOOR				
POOL & HOT TUB (112)	311	30	10.2	
POOL DECK (113)	245	18	48.6	
POOL CLOSET (114)	80	500	0.2	
ENTRANCE (115)	361	56	7.3	
RECEPTION CENTER (106)	135	150	1.4	
LOBBY (107)	300	150	1	
FRONT DESK (118)	100	100	1	
LOBBY LOUNGE (109)	1140	50	74.8	
SALES OFFICE (108-113)	610	100	1.0	
OFFICES (114-117, 121-123)	485	100	4.8	
REPAIR (118)	22	300	0.1	
LOUNGE (119)	160	300	0.6	
TV/RECEPTION (118)	83	300	0.3	
PARAMETER HALL (121-123)	1806	-	0	
REPAIR Y & P (120-121)	2,014	-	136.2	
POOL GIFT HALL (122)	618	-	0	
LAUNDRY, DRYER (124, 145)	341	300	2.7	
CHART (145)	78	300	0.3	
STAFF (146)	187	15	10.8	
LOCKER (147)	104	50	2	
STOCK ROOM, BAKERY, ELEC.	1,345	300	4.5	
JAN. ROOM (141-144)	1,257	300	6.3	
KITCHEN (143)	270	300	1.2	
COOK & HOT STOVE (141-143)	270	300	1.2	
CLOSET, REFRIGERATOR (146-148)	312	100	3.1	
RESTROOM LOUNGE, DRIVING (144)	3,440	100	34.4	
ELEVATOR MACHINE (116, 143)	238	300	0.8	
ELEVATOR CONVEYOR (116)	187	300	0.6	
VEHICLE (150)	87	300	0.3	
CROSS FIRST FLOOR TOTAL	37,844.1	-	418	
SECOND FLOOR				
CROSS CLERK & ALL OTHERS	16,485.1	-	78	
OFF. AREA, 1155 UPPER LOBBY	18,840.1	300	78	
CROSS CLERK & ALL OTHERS	16,485.1	300	83	
THIRD FLOOR				
CROSS CLERK & ALL OTHERS	19,243.1	300	87	
FOURTH FLOOR				
CROSS CLERK & ALL OTHERS	18,343.1	300	82	
FIFTH FLOOR				
CROSS CLERK & ALL OTHERS	16,143.1	300	67	
TOTAL UPPER FLOORS	82,196.1	-	403	
TOTAL BUILDING	120,040.2	-	821	

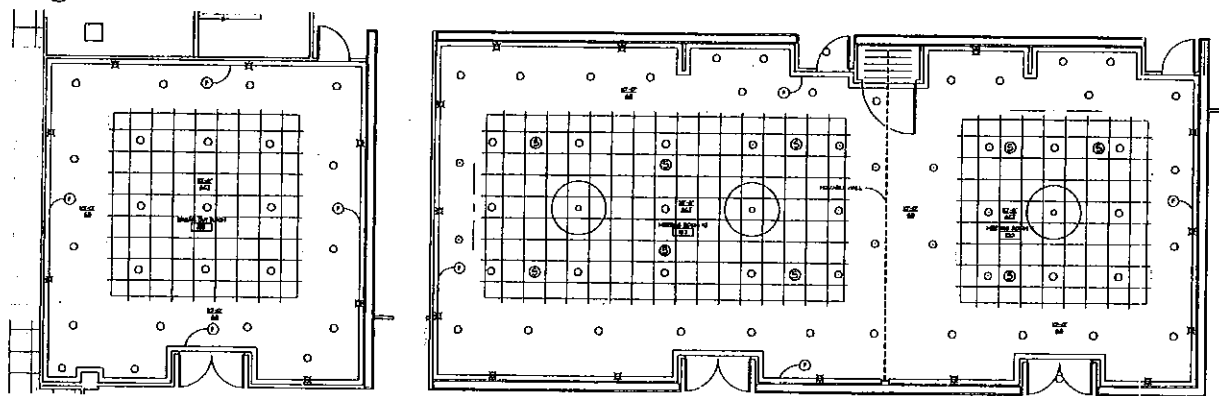
NOTE: IN THIS CASE THE BUILDING OCCUPANCY DATA IS BASED ON THE FOLLOWING ASSUMPTIONS:
 1. ALL ROOMS ARE OCCUPIED AT ALL TIMES.
 2. OCCUPANCY DATA IS BASED ON THE FOLLOWING ASSUMPTIONS:



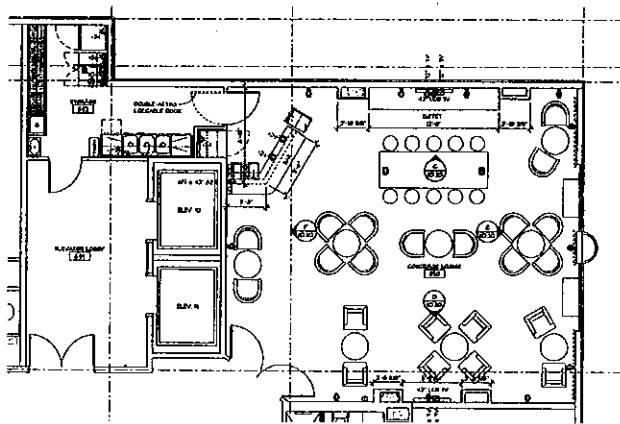
NOTE: SEE ENLARGED (1/8" = 1'-0") PLANS AS DIRECTED

NOTE:
ALL ROOM NAMES HAVE CHANGED FROM PREVIOUS EDITION

CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ELEVATIONS BEFORE ORDERING MATERIALS OR BEGINNING WORK. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.

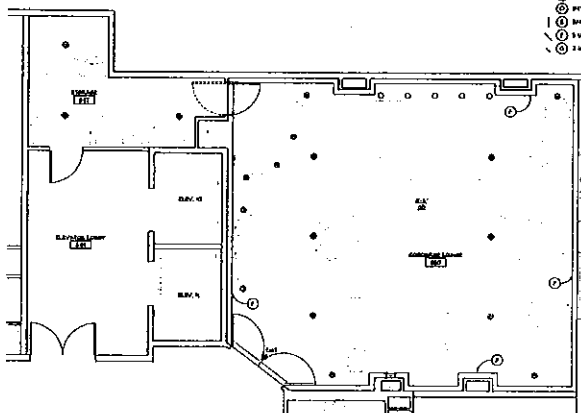


POWER LEGEND							
TYPE	DESCRIPTION	TYPE	DESCRIPTION	TYPE	DESCRIPTION	TYPE	DESCRIPTION
⊙	POWER INDICATOR	⊙	STANDARD WIRE	⊙	ANALOG CODE OF THE CODE	⊙	POWER CODE
⊙	STANDARD RECEIPT	⊙	DATA CODE	⊙	CODE IN DATA	⊙	POWER CODE
⊙	ANALOG RECEIPT	⊙	CODE IN DATA	⊙	CODE IN DATA	⊙	POWER CODE
⊙	ANALOG RECEIPT	⊙	CODE IN DATA	⊙	CODE IN DATA	⊙	POWER CODE
⊙	ANALOG RECEIPT	⊙	CODE IN DATA	⊙	CODE IN DATA	⊙	POWER CODE



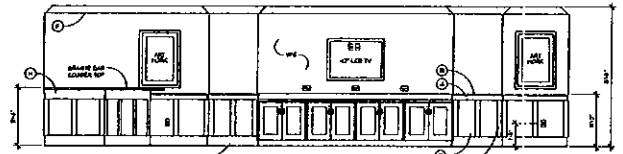
CONCIERGE LOUNGE #650 FLOOR PLAN
REV: 0

- 1. 30' x 30' POLYURETHANE
- 2. 30' x 30' POLYURETHANE
- 3. 30' x 30' POLYURETHANE
- 4. 30' x 30' POLYURETHANE
- 5. 30' x 30' POLYURETHANE
- 6. 30' x 30' POLYURETHANE
- 7. 30' x 30' POLYURETHANE
- 8. 30' x 30' POLYURETHANE
- 9. 30' x 30' POLYURETHANE
- 10. 30' x 30' POLYURETHANE

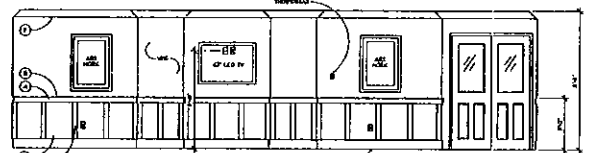


CONCIERGE LOUNGE #650 CEILING PLAN
REV: 0

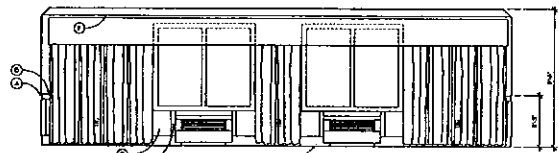
NOTE: ALL DIMENSIONS TO BE PROVIDED TO THE FIELD BY THE FIELD ENGINEER. ALL DIMENSIONS TO BE PROVIDED TO THE FIELD BY THE FIELD ENGINEER. ALL DIMENSIONS TO BE PROVIDED TO THE FIELD BY THE FIELD ENGINEER.



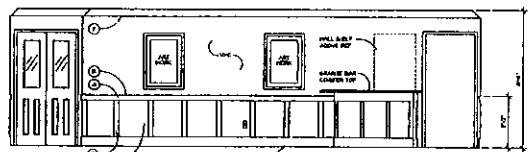
INTERIOR ELEVATION CONCIERGE LOUNGE #650
REV: 0



INTERIOR ELEVATION CONCIERGE LOUNGE #650
REV: 0

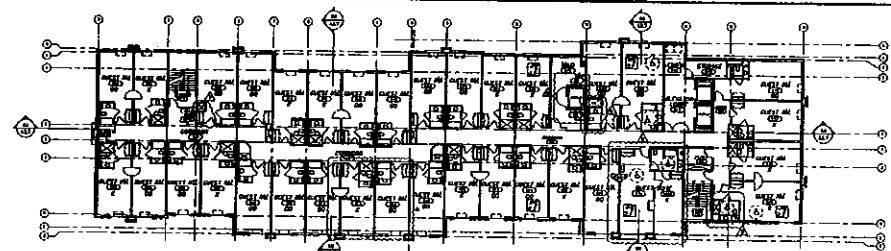


INTERIOR ELEVATION CONCIERGE LOUNGE #650
REV: 0



INTERIOR ELEVATION CONCIERGE LOUNGE #650
REV: 0

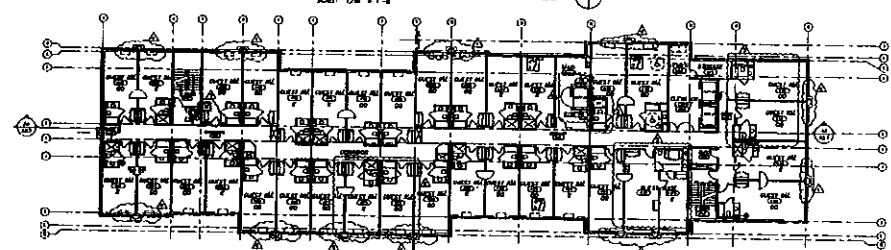
POWER LEGEND			
TYPE	DESCRIPTION	TYPE	DESCRIPTION
1	30' x 30' POLYURETHANE	2	30' x 30' POLYURETHANE
3	30' x 30' POLYURETHANE	4	30' x 30' POLYURETHANE
5	30' x 30' POLYURETHANE	6	30' x 30' POLYURETHANE
7	30' x 30' POLYURETHANE	8	30' x 30' POLYURETHANE
9	30' x 30' POLYURETHANE	10	30' x 30' POLYURETHANE



THIRD FLOOR - WEST PART (SEE SHEET A2.7) THIRD FLOOR - EAST PART (SEE SHEET A2.8)

KEY PLAN - THIRD FLOOR

SCALE: 1/8" = 1'-0"

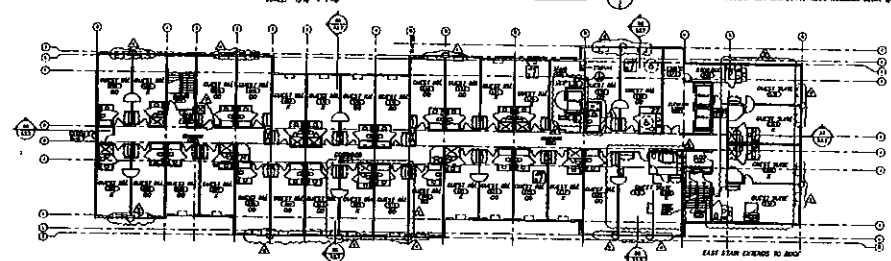


FOURTH & FIFTH FLOOR - WEST PART (SEE SHEET A2.9) FOURTH & FIFTH - EAST PART (SEE SHEET A2.10)

KEY PLAN - FOURTH & FIFTH FLOOR

SCALE: 1/8" = 1'-0"

NOTE: FOURTH FLOOR ROOM NUMBERS ARE FROM ROOM 4000. FIFTH FLOOR IS IDENTICAL TO FOURTH FLOOR, BUT RESPECTIVE ROOM NUMBERS BEGIN WITH "5".



SIXTH FLOOR - WEST PART (SEE SHEET A2.11) SIXTH FLOOR - EAST PART (SEE SHEET A2.12)

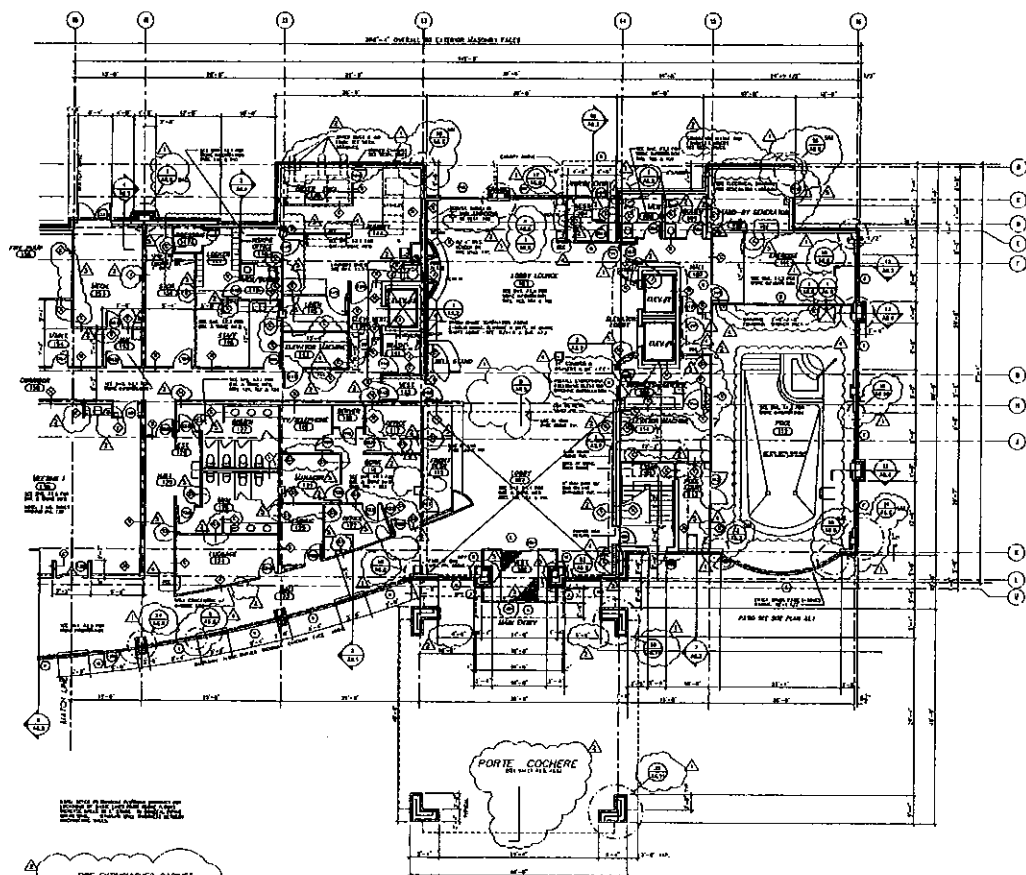
KEY PLAN - SIXTH FLOOR

SCALE: 1/8" = 1'-0"

NOTE: SEE ENLARGED (1/8" = 1'-0") PLANS AS DIRECTED

NOTE: ALL ROOM NUMBERS HAVE CHANGED FROM PREVIOUS EDITION

CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE EXERCISING OPTION TO PROCEED WITH WORK. TO FURTHER DETERMINE THE LOCATION OF EXISTING UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF LOS ANGELES.



FIRST FLOOR OCCUPANCY AND SPACE SEPARATIONS:

THE FIRST FLOOR IS SEPARATED FROM THE UPPER FLOORS BY A HORIZONTAL, ASSURABLE, PROTECTIVE 3 HOUR (ACTUALLY 4 HOUR) PROTECTION. THE UPPER FLOORS ARE CLASSIFIED AS RESIDENTIAL. THE FIRST FLOOR IS CONSIDERED A SEPARATE BUILDING FOR THE SPECIAL PROPOSED SECTION 500.2. THE FIRST FLOOR MAIN OCCUPANCY IS TO BE CONSIDERED ASSEMBLY USE WHICH IS COORDINATE WITH THE FUNCTIONS OF THE PRECEDENT SPACES THAT ARE CLASSIFIED AS A-3, SUCH AS MEETING ROOMS (FORMERLY USED AS GUEST ROOMS), BREAK-OUT, RECEPTION, LOBBY LOUNGE, RESTAURANT DINING, AND BAR WITH ITS KITCHEN, AND THE SPA POOL AND FITNESS ROOM THAT ARE CLASSIFIED A-2.

THE FIRST FLOOR ALSO CONTAINS SOME OFFICE AREAS (IN OCCUPANCY) EAST OF THE DINING ROOM PLUS THE OFFICE ADJACENT TO THE FRONT DESK. HOWEVER, THE ADDRESSABLE AREA OF LIVING SPACE IS LESS THAN 10% OF THE FIRST FLOOR AREA AND THEREFORE CONSIDERING A SECONDARY USE WITHOUT SEPARATION REQUIRED BETWEEN MAIN OCCUPANCY.

THERE ARE PARTIAL SPACES ON THE FIRST FLOOR THAT ARE CONSIDERED RESIDENTIAL. TO THE MAIN OCCUPANCY AND THESE INCLUDE: STORAGE ROOMS (13), PAUL LAMBERT CORRECTIONAL ROOMS (14), (15), (16), (17), (18), (19), (20), (21), (22), (23), (24), (25), (26), (27), (28), (29), (30), (31), (32), (33), (34), (35), (36), (37), (38), (39), (40), (41), (42), (43), (44), (45), (46), (47), (48), (49), (50), (51), (52), (53), (54), (55), (56), (57), (58), (59), (60), (61), (62), (63), (64), (65), (66), (67), (68), (69), (70), (71), (72), (73), (74), (75), (76), (77), (78), (79), (80), (81), (82), (83), (84), (85), (86), (87), (88), (89), (90), (91), (92), (93), (94), (95), (96), (97), (98), (99), (100), (101), (102), (103), (104), (105), (106), (107), (108), (109), (110), (111), (112), (113), (114), (115), (116), (117), (118), (119), (120), (121), (122), (123), (124), (125), (126), (127), (128), (129), (130), (131), (132), (133), (134), (135), (136), (137), (138), (139), (140), (141), (142), (143), (144), (145), (146), (147), (148), (149), (150), (151), (152), (153), (154), (155), 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FLOOR PLAN - FIRST FLOOR - EAST PART
SCALE 1/8" = 1'-0"

1. FIRE EXTINGUISHER CABINET
2. SMOKE DETECTOR PER NFPA

CONSTRUCTION SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING WITH WORK.



THE HOTEL GROUP

www.thehotelgroup.com

October 22, 2008

State of Alaska
Alcoholic Beverage Control Board
5848 E Tudor Road
Anchorage, AK 99507

**RE: Crowne Plaza Midtown Anchorage
Beverage Dispensary Tourism Liquor License Application**

To Whom It May Concern:

Enclosed, please find the following documents required of Anchorage Hospitality, LLC in the State of Alaska, for submission of a Beverage Dispensary Tourism Liquor License Application for the Crowne Plaza Midtown Anchorage, to be located at 109 W. International Airport Road, Anchorage, Alaska:

- 1) Check payable to the ABC Board, in the amount of \$2,758.50 -
 - a. License Fee \$2,500.00
 - b. Filing Fee \$100.00
 - c. Finger Prints (2) \$ 108.50
 - d. Restaurant Designation \$50.00
- 2) Hotel Liquor License Application for Anchorage Hospitality, LLC
- 3) Posting Affidavit - Signed by Joe Merrill, future hotel General Manager
- 4) Proof of Advertising - Anchorage Daily News
 - a. A one-time correction on the Premise address will need to be run in the Anchorage Daily News.
- 5) Proof of Right, Title or Interest - included is the Deed of Trust
- 6) Statement of Financial Interest for Anchorage Hospitality, LLC
- 7) Certificate of Formation
- 8) Diagram of Premises to be Licensed:
 - a. Restaurant & Lounge - Lobby level
 - b. Concierge Lounge - Serves Top Floor/Concierge Guests - very limited operation
 - c. Banquet Rooms - event service - as needed
- 9) Fingerprint Cards - Bill Lawson & Chris Ashenbrenner (Members)
- 10) Proposed Menu (final menu will be similar to the attached)
- 11) Partnership Agreement/Operating Agreement

We would appreciate it if you will send all correspondence and or questions regarding the enclosed application to the following:

Anchorage Hospitality, LLC
c/o The Hotel Group Holdings, LLC.
Attn: Jason C. Rabidoux
110 James Street, Suite 102
Edmonds, WA 98020

Phone: (425) 248-2979
Fax: (425) 672-8280

Thank you for your quick response and we look forward to working with you.

Warmest regards,
THE HOTEL GROUP HOLDINGS, LLC as managing agent for
Anchorage Hospitality, LLC



Jason C. Rabidoux
Real Estate Specialist

Enclosures

New Liquor License

Alcoholic Beverage Control Board
5848 E Tudor Rd
Anchorage, AK 99507

PAGE 1 OF 2
(907) 269-0350
Fax: (907) 272-9412
www.dps.state.ak.us/abc

This application is for:

Seasonal - Two 6-month periods in each year of the biennial period beginning _____ and ending _____
✓ Full 2-year period _____ Mo/Day _____ Mo/Day _____

SECTION A. LICENSE INFORMATION. Must be completed for all types of applications.			FEEs
License Year: 2009	License Type:	Statute Reference	License Fee: \$2500.00
(Office Use Only) License #:	Beverage Dispensary Tourism	Sec. 04.11.400D	Filing Fee: \$100.00
Local Governing Body: (City, Borough or Unorganized) Municipality of Anchorage	Community Council Name(s) & Mailing Address: Midtown Community Council 3800 W. 45th Avenue Anchorage, AK 99517		Fingerprint: \$108.50 (\$54.25 per person) Restaurant Designation Fee: \$50.00 Total Submitted: \$2,758.50
Federal EIN or SSN:	Doing Business As (Business Name): Crowne Plaza Midtown Anchorage	Business Telephone Number: (425) 771-1788	
Name of Applicant (Corp/LLC/PLLP/Individual/Partnership): Anchorage Hospitality, LLC	Street Address or Location of Premise: 110 James Street, Suite 102 Edmonds, WA 98020	Fax Number: (425) 672-8280	
Mailing Address: 110 James Street, Suite 102 Edmonds, WA 98020	City, State, Zip: Edmonds, WA 98020	Email Address: rmeyer@thehotelgroup.com	
SECTION B. PREMISES TO BE LICENSED. Must be completed. Closest school grounds: 1.6 mi - Anchorage Montessori ☐ AS 04.11.410 OR ☒ AS 04.11.410 Distance measured under: AS 04.11.410 Closest church: .9 mi - Iglesia Pentecostal ☐ AS 04.11.410 OR ☒ AS 04.11.410 Distance measured under: AS 04.11.410 Premises to be licensed is: ☐ Proposed building ☐ Existing facility ☒ NEAR BUILDING Premises are located in the same building as the premises required for new & proposed buildings. Distance of premises attached: 0			
SECTION C. Individual, corporate officer, limited liability organization member, manager or partner background. Does any individual, corporate officer, director, limited liability organization member, manager or partner named in this application have any direct or indirect interest in any other alcoholic beverage business licensed in Alaska or any other state? ☒ Yes ☐ No If Yes, complete the following. Attach additional sheets if necessary.			
Name	Name of Business	Type of License	Business Street Address
Has any individual, corporate officer, director, limited liability organization member, manager or partner named in this application been convicted of a felony, a violation of AS 04, or been convicted as a licensee or manager of licensed premises in another state of the liquor laws of that state? ☐ Yes ☒ No If Yes, attach written explanation.			

SEE ATTACHED SCHEDULE

Liquor License

Corporations, LLCs, LLPs and LPs must be registered with the Dept. of Community and Economic Development.									
Name of Entity (Corporation/LLC/LLP/LP) (or N/A if an individual ownership) <i>Anchorage Hospitality, LLC</i>				Telephone Number (425) 771-1788		Fax Number (425) 672-8280			
Corporate Mailing Address: <i>110 James Street, Suite 102</i>				City <i>Edmonds</i>		State <i>Washington</i>		Zip Code <i>98020</i>	
Name, Mailing Address and Telephone Number of Registered Agent <i>Tammy Griffin - 4411 Spenard Rd, Anchorage, AK 99517 - (907) 223-6948</i>				Date of Incorporation OR Certification with DCED <i>9/23/2004</i>		State of Incorporation <i>Washington</i>			
Is the Entity in compliance with the reporting requirements of Title 10 of the Alaska Statutes? X - Yes ☐ No ☐ If no, attach written explanation. Your entity <i>must</i> be in compliance with Title 10 of the Alaska Statutes to be a valid liquor licensee.									
Entity Members (Must include President, Secretary, Treasurer, Vice-President, Manager and Shareholder/Member with at least 10%)									
Name	Title	%	Home Address & Telephone Number	Work Telephone Number	Date of Birth				
William J. Lawson	Member	80	<i>621 N. Nelson Hwy, Spenard WA</i>	<i>(509) 624-1170</i>					
Chris R. Ashenbrenner	Member	20	<i>639 N. Fairview Ave, Spenard WA</i>	<i>(509) 624-1170</i>					
NOTE: On a separate sheet provide information on ownership other organized entities that are shareholders of the licensee.									
Individual Licensees/Affiliates (The ABC Board defines an "Affiliate" as the spouse of a licensee. Each Affiliate must be listed.)									
Name:	Applicant ☐ Affiliate ☐	Name:	Applicant ☐ Affiliate ☐						
Address:		Address:							
Home Phone:		Home Phone:		Date of Birth:	Applicant ☐ Affiliate ☐				
Work Phone:		Work Phone:							
Name:	Applicant ☐ Affiliate ☐	Name:	Applicant ☐ Affiliate ☐						
Address:		Address:		Date of Birth:	Applicant ☐ Affiliate ☐				
Home Phone:		Home Phone:							
Work Phone:		Work Phone:							
Declaration									
I declare under penalty of perjury that I have examined this application, including the accompanying schedules and statements, and to the best of my knowledge and belief it is true, correct and complete, and this application is not in violation of any security interest or other contracted obligations. I hereby certify that there have been no changes in officers or stockholders that have not been reported to the Alcoholic Beverage Control Board. The undersigned certifies on behalf of the organized entity, it is understood that a misrepresentation of fact is cause for rejection of this application or revocation of any license issued. I further certify that I have read and am familiar with Title 4 of the Alaska statutes and its regulations, and that in accordance with AS 04.11.450, no person other than the licensee(s) has any direct or indirect financial interest in the licensed business. I agree to provide all information required by the Alcoholic Beverage Control Board in support of this application.									
Signature of Licensee(s)		Signature							
Name & Title (Please Print)		Name & Title (Please Print)							
<i>William J. Lawson, Member</i>		<i>Chris Ashenbrenner, Member</i>							
Subscribed and sworn to before me this		Subscribed and sworn to before me this							
30 day of Sept 2004		30 day of Sept 2004							
Notary Public in and for the State of Alaska		Notary Public in and for the State of Washington							
<i>Myra Myre</i>		<i>Myra Myre</i>							
NOTARY -o- PUBLIC		NOTARY -o- PUBLIC							
My commission expires: 3/1/2012		My commission expires: 3/1/2012							

Does any individual, corporate officer, director, limited liability organization member, manager or partner named in this application have any direct or indirect interest in any other alcoholic beverage business licensed in Alaska or any other state?

☒ Yes ☐ No If Yes, complete the following. Attach additional sheets if necessary.

Name	Name of Business	Type of License	Business Street Address	State
Arctic Hotel Management, LLC	Arctic Club Hotel	Spirits, Beer, Wine, Restaurant	700 3 rd Avenue Seattle, WA 98104	Washington
Plaza Hospitality, LLC	Plaza Inn & Suites Ashland	Off-Premises Sales	98 Central Avenue Ashland, OR 97520	Oregon
Corvallis Hospitality, LLC	Hilton Garden Inn Corvallis at OSU	Full On-Premises Sales	2500 SW Western Blvd Corvallis, OR 97333	Oregon
Kemewick Hospitality, LLC	Hilton Garden Inn Kemewick	Spirits, Beer, Wine, Restaurant	701 North Young St. Kemewick, WA 99336	Washington
River Run Hospitality, LLC	Courtyard Richland at Columbia Point	Hotel	480 Columbia Point Dr. Richland, WA 99352	Washington

STATE OF ALASKA
ALCOHOLIC BEVERAGE CONTROL BOARD
RESTAURANT DESIGNATION PERMIT - AS 04.16 & 15 AAC 104.715-794
APPLICATION FEE: \$50.00

The granting of this permit allows access of persons under 21 years of age to designated licensed premises for purposes of dining, and persons under the age of 19 for employment. If for employment, please state in detail, how the person will be employed, duties, etc. (13 AAC 104.745)

This application is for designation of premises where: (please mark appropriate items).
1 ☒ Under AS 04.16.010(c) Bonus fide restaurant/cafeteria place.
2 ☒ Persons between 16 & 21 may dine unaccompanied.
3 ☒ Persons under 16 may dine accompanied by a person 21 years or older.
4 ☒ Persons between 16 and 19 years may be employed. (See note below).

LICENSEE: Anchorage Hospitality, LLC
DBA: RESTAURANT NAME - INTERMEDIATE ; HOTEL - CROWNE PLAZA MIDTOWN HOTEL
ADDRESS: 109 W. INTERNATIONAL AIRPORT RD., ANCHORAGE, AK 99503
1. Hours of Operation: 6 AM to 11 PM Telephone # TRP
2. Have police ever been called to your premises by you or anyone else for any reason: ☐ Yes ☒ No
If yes, date(s) and explanation(s):

3. Duties of employment: RESTAURANT / LOUNGE OPERATION - N/A

4. Are video games available to the public on your premises? NO

5. Do you provide entertainment: ☐ Yes ☒ No If yes, describe.

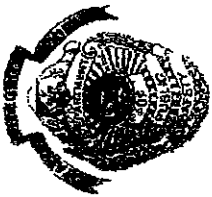
6. How is food served? ☒ Table Service ☐ Buffet Service ☐ Counter Service ☐ Other*

7. Is the owner, manager, or assistant manager always present during business hours? ☒ Yes ☐ No

*** A MENU AND A DETAILED LICENSED PREMISES DIAGRAM MUST ACCOMPANY THIS APPLICATION ***

This permit remains in effect until the liquor license is transferred OR at the discretion of the Alcoholic Beverage Control Board. (13 AAC 104.795)

I certify that I have read AS 04.16.049, AS 04.16.060, AS 04.16.061, AS 04.16.062, AS 04.16.063, AS 04.16.064, AS 04.16.065, AS 04.16.066, AS 04.16.067, AS 04.16.068, AS 04.16.069, AS 04.16.070, AS 04.16.071, AS 04.16.072, AS 04.16.073, AS 04.16.074, AS 04.16.075, AS 04.16.076, AS 04.16.077, AS 04.16.078, AS 04.16.079, AS 04.16.080, AS 04.16.081, AS 04.16.082, AS 04.16.083, AS 04.16.084, AS 04.16.085, AS 04.16.086, AS 04.16.087, AS 04.16.088, AS 04.16.089, AS 04.16.090, AS 04.16.091, AS 04.16.092, AS 04.16.093, AS 04.16.094, AS 04.16.095, AS 04.16.096, AS 04.16.097, AS 04.16.098, AS 04.16.099, AS 04.16.100, AS 04.16.101, AS 04.16.102, AS 04.16.103, AS 04.16.104, AS 04.16.105, AS 04.16.106, AS 04.16.107, AS 04.16.108, AS 04.16.109, AS 04.16.110, AS 04.16.111, AS 04.16.112, AS 04.16.113, AS 04.16.114, AS 04.16.115, AS 04.16.116, AS 04.16.117, AS 04.16.118, AS 04.16.119, AS 04.16.120, AS 04.16.121, AS 04.16.122, AS 04.16.123, AS 04.16.124, AS 04.16.125, AS 04.16.126, AS 04.16.127, AS 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State of Alaska
Department of Public Safety

Alcoholic Beverage Control Board

Sarah H. Palin, Governor
Joseph A. Masters, Commissioner

January 28, 2009

Municipality of Anchorage
Barbara Grintenstein
P.O. Box 196650
Anchorage, Alaska 99519

Re: Crowne Plaza Midtown Anchorage (6th Floor) – License #4869 - Restaurant Designation
Application Enclosed. **ORIGINAL APPLICATION MUST BE RETURNED.**

We have received the enclosed application for a new liquor license within the Municipality of Anchorage. This is the notice as required under AS 04.11.520. Additional information concerning filing a "protest" by a local governing body under AS 04.11.480 is included in this letter.

A local governing body as defined under AS 04.21.080(11) may protest the approval of an application(s) pursuant to AS 04.11.480 by furnishing the board and the applicant with a clear and concise written statement of reasons in support of a protest within 60 days of receipt of this notice. If a protest is filed, the board will not approve the application unless it finds that the protest is "arbitrary, capricious and unreasonable". Instead, in accordance with AS 04.11.510(b), the board will notify the applicant that the application is denied for reasons stated in the protest. The applicant is entitled to an informal conference with either the director or the board and, if not satisfied by the informal conference, is entitled to a formal hearing in accordance with AS 44.62.330-44.62-630. **IF THE APPLICANT REQUESTS A HEARING, THE LOCAL GOVERNING BODY MUST ASSIST IN OR UNDERTAKE THE DEFENSE OF ITS PROTEST.**

Under AS 04.11.420(a), the board may not issue a license or permit for premises in a municipality where a zoning regulation or ordinance prohibits the sale or consumption of alcoholic beverages, unless a variance of the regulation or ordinance has been approved. Under AS 04.11.420(b) municipalities must inform the board of zoning regulations or ordinances which prohibit the sale or consumption of alcoholic beverages. If a municipal zoning regulation or ordinance prohibits the sale or consumption of alcoholic beverages at the proposed premises and no variance of the regulation or ordinance has been approved, please notify us and provide a certified copy of the regulation or ordinance if you have not previously done so.

Protest under AS 04.11.480 and the prohibition of sale or consumption of alcoholic beverages as required by zoning regulation or ordinance under AS 04.11.420(a) are two separate and distinct subjects. Please bear that in mind in responding to this notice.

AS 04.21.010(d), if applicable, requires the municipality to provide written notice to the appropriate community council(s).

If you wish to protest the application referenced above, please do so in the prescribed manner and within the prescribed time. Please show proof of service upon the applicant. For additional information please refer to 15 AAC 104.145, Local Governing Body Protest.

Note: Applications applied for under AS 04.11.400(g), 15 AAC 104.335(a)(3), AS 04.11.090(e), and 15 AAC 104.660(c) must be approved by the governing body.

FEB-03-09 TUE 04:43 PM

FAX NO.

P. 03

Alcoholic Beverage Control Board 5848 13 th Avenue NE Anchorage, AK 99507		New Liquor License		PAGE 1 OF 2 (907) 269-0350 Fax: (907) 272-9412 www.dps.state.ak.us/abc	
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This application is for:

Seasonal - Two 6-month periods in each year of the biennial period beginning _____ and ending _____

✓ Full 2-year period

Mo/Day

Mo/Day

*3051

SECTION A. LICENSE INFORMATION. Must be completed for all types of applications.				FEES	
License Year: 2009	License Type: Beverage Dispensary Tourism - Duplicate License	Statute Reference: Sec. 04.11.400D	License Fee: \$2500.00		
Office Use Only: 4469	Community Council Name(s) & Mailing Address: Midtown Community Council 3800 W. 43 rd Avenue Anchorage, AK 99517		Filing Fee: \$100.00		
Local Governing Body: (City, Borough or Unincorporated) Municipality of Anchorage			Restaurant Designation \$50.00		
Federal EIN or SSN:			Total Submitted: \$2,650.00		
Name of Applicant (Corporation/LLP/Individual/Partnership): Anchorage Hospitality, LLC	Doing Business As (Business Name): Crowned Plaza Midtown Anchorage	Business Telephone Number: (425) 771-1788			
Mailing Address: 110 Janet Street, Suite 102 Edmonds, WA 98020	Street Address or Location of Premise: 109 W. International Airport Road Anchorage, AK 99503	Fax Number: (425) 672-8280			
City, State, Zip: Fairbanks, WA 99701		Email Address: rmeyer@thehotelgroup.com			
SECTION B. PREMISES TO BE LICENSED. Must be completed.					
Closest school grounds: Distance measured under: 1.6 mi - Anchorage Municipality OR AS 04.11.410	Premises is GREATER than 50 miles from the boundaries of an incorporated city, borough, or unified municipality.				
Closest church: Distance measured under: 9 mi - Iglesia Evangelical OR X Local Ordinance No.	Premises is LESS than 50 miles from the boundaries of an incorporated city, borough, or unified municipality.				
Premises to be licensed is: ☐ Proposed building ☐ Existing facility ☒ New building	X Plans submitted to Fire Marshall (required for new & proposed buildings) X Diagram of premises attached				
SECTION C. Individual, corporate officer, limited liability organization member, manager or partner background.					
Does any individual, corporate officer, director, limited liability organization member, manager or partner named in this application have any direct or indirect interest in any other alcoholic beverage business licensed in Alaska or any other state?					
☐ Yes ☐ No If Yes, complete the following. Attach additional sheets if necessary.					
Name	Type of Business	Type of License	Business Street Address	State	
Are Attached Schedule					
Has any individual, corporate officer, director, limited liability organization member, manager or partner named in this application been convicted of a felony, a violation of AS 04, or been convicted as a licensee or manager of licensed premises in another state of the liquor laws of that state?					
☐ Yes ☒ No If Yes, attach written explanation.					

FEB-03-08 TUE 04:43 PM

FAX NO.

P. 04

Alcoholic Beverage Control Board
5848 E. Tudor Rd
Anchorage AK 99507
P: 907 269-0350 F: 907 272-9412

Liquor License

PAGE 2 of 2
Licensee Information
www.dps.state.ak.us/abc

Corporations, LLCs, LLPs and LPs must be registered with the Dept. of Community and Economic Development.

Name of Entity (Corporation, LLC, LLP, LP) (or N/A if an individual ownership) <i>Anchorage Hospitality, LLC</i>	Telephone Number (425) 771-1788	Tax Number (425) 672-8280
Corporate Mailing Address: <i>110 Jones Street, Suite 102</i>	State <i>Washington</i>	Zip Code <i>98020</i>
Name, Mailing Address and Telephone Number of Registered Agent <i>Tammy Griffin - 4411 Spenard Rd, Anchorage, AK 99517 - (907) 223-6948</i>	Date of Incorporation OR Certification with DECED <i>9/23/2004</i>	State of Incorporation <i>Washington</i>

Is the Entity in compliance with the reporting requirements of Title 10 of the Alaska Statutes? X-Yes ☐ No ☐ If no, attach written explanation.
Your entity must be in compliance with Title 10 of the Alaska Statutes to be a valid liquor licensee.

Name	Title	%	Home Address & Telephone Number	Work Telephone Number	Date of Birth
William J. Lawson	Member	80	621 W. Mallon, #509, Spokane, WA	(509) 624-1170	
Chris R. Ashenbrenner	Member	20	639 N. Riverpoint, #2W, Spokane, WA	(509) 624-1170	

NOTE: On a separate sheet provide information on ownership other organized entities that are shareholders of the licensee.

Individual Licensees/Affiliates (The ABC Board defines an "Affiliate" as the spouse of a licensee. Each Affiliate must be listed.)	
Name: Address:	Applicant ☐ Affiliate ☐ Date of Birth:
Home Phone: Work Phone:	Home Phone: Work Phone:
Name: Address:	Applicant ☐ Affiliate ☐ Date of Birth:
Home Phone: Work Phone:	Home Phone: Work Phone:

Declaration

I declare under penalty of perjury that I have examined this application, including the accompanying schedules and statements, and to the best of my knowledge and belief it is true, correct and complete, and this application is not in violation of any security interest or other contractual obligations.

I hereby certify that there have been no changes in officers or stockholders that have not been reported to the Alcoholic Beverage Control Board. The undersigned certifies on behalf of the organized entity, it is understood that a misrepresentation of fact is cause for rejection of this application or revocation of any license issued.

I further certify that I have read and am familiar with Title 4 of the Alaska Statutes and its regulations, and that in accordance with AS 04.11.450, no person other than the licensee(s) has any direct or indirect financial interest in the licensed business.

I agree to provide all information requested by the Alcoholic Beverage Control Board in support of this application.

Signature of Licensee(s) <i>Chris Ashenbrenner</i>	Signature <i>Bill Lawson</i>
Name & Title (Please Print) <i>Chris Ashenbrenner - Member</i>	Name & Title (Please Print) <i>Bill Lawson, Member</i>
Subscribed and sworn to before me this <i>12</i> day of <i>Dec</i> <i>2008</i>	Subscribed and sworn to before me this <i>12</i> day of <i>Dec</i> <i>2008</i>
Notary Public in and for the State of <i>WASHINGTON</i> <i>Allen Myre</i>	Notary Public in and for the State of <i>WASHINGTON</i> <i>Allen Myre</i>
My commission expires: <i>02/02/2010</i>	My commission expires: <i>02/02/2010</i>

STATE OF ALASKA
ALCOHOLIC BEVERAGE CONTROL BOARD

AFFIDAVIT IN CONNECTION WITH POSTING LIQUOR LICENSE APPLICATION
Section 04.11.260, 04.11.310, & AAC 04.125 Alaska Statutes, Title 4

POSTING AFFIDAVIT

I, the undersigned, being first duly sworn on oath, depose and say that:

1. a. Posting of application for a new Beverage Dispensary Tourist liquor license
for Crowne Plaza Mid-Town Anchorage
located at 109 W. International Airport Rd., Anchorage, AK 99503
(address and/or location)

OR

- b. Posting of application for transfer of a _____ liquor license
currently issued to _____ whose business name (d/b/a)
is _____ located at _____
(address and/or location)

2. Has been completed by me for the following 10 FULL day period:

10-9-08 to 10-19-08

*** Prior to the filing of said application, a true copy of the application was posted at the following described locations: (name and address of location)

- a. Location of premises to be licensed 109 W. International Airport Rd., Anchorage, AK 99503
Crowne Plaza Mid-Town Anchorage
- b. Other conspicuous location in the area U.S. Post Office
3325 Barrow St., Anchorage, AK, 99503

3. I believe that with the approval of this application population would not at one time exceed in the aggregate of one license of the type requested for population as provided by law. AS 04.11.400 (check one)

- a. ☐ a radius of five (5) miles of the proposed location.
- b. ☒ an incorporated city, organized borough or unified municipality.
- c. ☐ does not apply (application filed under AS 04.11.400(d)(e)(g) or transfer of license holder or location within an incorporated city or unified municipality or organized borough).
- d. ☐ established village.

SUBSCRIBED and SWORN to on this 11 day of October, 20 08

Joseph C. Merrill
(signature)



NOTE1202
\$712.35
115483

AFFIDAVIT OF PUBLICATION

STATE OF ALASKA
THIRD JUDICIAL DISTRICT

Ryan Estrada

being first duly sworn on oath
deposes and says that he/she is
an representative of the
Anchorage Daily News, a
daily newspaper. That said
newspaper has been approved
by the Third Judicial Court,
Anchorage, Alaska, and it now
and has been published in the
English language continually as a
daily newspaper in Anchorage,
Alaska, and it is now and during
all said time was printed in an
office maintained at the aforesaid
place of publication of said
newspaper. That the annexed is
a copy of an advertisement as it
was published in regular issues
(and not in supplemental form)
of said newspaper on

September 27, 2008 &
October 4 & 11, 2008

and that such newspaper was
regularly distributed to its
subscribers during all of said
period. That the full amount of
the fee charged for the foregoing
publication is not in excess of
the rate charged private
individuals.

Signed

Subscribed and sworn to before

Me this 17 day of October

20

Carol S. Drew



Notary Public in and for
The State of Alaska
Third Division
Anchorage, Alaska

MY COMMISSION EXPIRES

11/1/09

exclusive
from AT&T, the leader

BUY ONE GET ONE \$49.99
FREE

\$29.99

MOVING!
To All Cities & States & From All Cities & States
72031
You Save
1324 Ship Ave. 907-345-9934

LIQUOR LICENSE
Anchorage Hospitality, LLC is making application for a new Beverage Dispensary Tourism Liquor License (AS 04.11.490D), doing business as the Crowne Plaza Midtown Anchorage located at 3800 W. International Airport Rd., Anchorage, Alaska.

* Interested persons should submit written comment to their local governing body, the applicant and to the Alcoholic Beverage Control Board at 5848 E. Tudor Road, Anchorage, AK 99507.

EXHIBIT "A"

Lessee's ground lease interest in the following described property:

Tract "A", of Haxby Subdivision, according to Plat 99-143, filed in the Anchorage Recording District, Third Judicial District, State of Alaska.



EXHIBIT "B"

Permitted exceptions:

1. Reservations and exceptions as contained in U.S. Patent.
2. Future general taxes and/or assessments,
Account No.: 009-221-28-000
3. Easement, including the terms and conditions thereof,
In favor of: City of Anchorage and Chugach Electric Association, Inc.
Recorded: November 30, 1966
Book/Page: 136/135, Miscellaneous records
For: Electric lines or system and/or telephone lines
4. Controlled access to and from said premises across the East boundary line of "C" Street, as reserved in Declaration of Taking, recorded April 18, 1968 in Book 160 at Page 12.
5. Easement, including the terms and conditions thereof,
In favor of: Anchorage, a Municipal Corporation
Recorded: December 4, 1979
Book/Page: 457/764
For: Electric lines or system and/or telephone lines
6. Easement dedicated or delineated on the face of the plat,
Plat No.: 99-143
For: Telecommunication and electric, visual enhancement landscape easement, underground and overhead T & E Easement

Affidavit, including the terms and conditions thereof,
Recorded: May 10, 2005
Serial No.: 2005-030804
Regarding: The location of the landscape easement, and telephone and electric easement (T & E Easement), shown on the southern boundary of Haxby Subdivision, Tract A, according to Plat No. 99-143, it has been agreed to be modified and moved by the appropriate parties of the Municipality of Anchorage, and affected utilities pursuant to signed documents attached to said instrument
7. Slope Easement as reserved on the plat for the purpose of providing and maintaining lateral support of the constructed street,
Plat No.: 99-143
8. Notes as shown on Plat No. 99-143.
9. Affidavit, including the terms and conditions thereof,
By: John E. Haxby, Trustee of the Tiger Trust
Dated: December 8, 2003
Recorded: December 8, 2003
Serial No.: 2003-127077
Regarding: Provisions for construction and dedication of "A" Street, as it relates to Tracts A, B and C, Haxby Subdivision

10. Water Main Extension Agreement, including the terms and conditions thereof,
Executed by: Tiger Trust
And: The Municipality of Anchorage
Dated: September 9, 2003
Recorded: October 1, 2003
Serial No.: 2003-102268
11. Storm Drainage Easement, including the terms and conditions thereof,
In favor of: Tract B-1 for Midtown and Tract B-2 for AMSIX
Recorded: November 18, 2003
Serial No.: 2003-121284
12. Easement, including the terms and conditions thereof,
In favor of: Alaska Communications Systems Holding, Inc., a Delaware
Corporation
Recorded: December 2, 2004
Serial No.: 2004-089546
For: Telecommunications Easement
13. Notice of Non-Responsibility for any debts incurred on said premises,
Executed by: Tiger Trust
Recorded: March 28, 2006
Serial No.: 2006-019008-0
14. Parking Reduction and Agreement to Provide Off-Street Parking, including the terms and
provisions thereof,
By and Between: Municipality of Anchorage and Tiger Trust
Recorded: June 9, 2006
Serial No.: 2006-037974-0
15. Memorandum of Lease:
Lessor: Tiger Trust
Lessee: Anchorage Hospitality, LLC
Dated: January 24, 2006
Term: 37 years, with options to extend



UNITED STATES OF AMERICA

The State of Washington



Secretary of State

I, SAM REED, Secretary of State of the State of Washington and custodian of its seal,
hereby issue this

CERTIFICATE OF FORMATION

to

ANCHORAGE HOSPITALITY, LLC

a/an WA Limited Liability Company. Charter documents are effective on the date
indicated below.

Date: 9/23/2004

UBI Number: 602-431-556

APPID: 154432



Given under my hand and the Seal of the State
of Washington at Olympia, the State Capital

Sam Reed, Secretary of State

09/22/2004 461770
\$195.00 Check #30566
Filing ID: 782503
Doc No: 461770-001

**APPLICATION TO FORM A
LIMITED LIABILITY COMPANY**

(Per Chapter 24, 25, 26)

FEE: \$175

EXPEDITED 24-HOUR SERVICE AVAILABLE - \$10 PER ENTITY
INCLUDE FEE AND WRITE "EXPEDITED" IN BOLD LETTERS
ON OUTSIDE OF ENVELOPE

FILED
SECRETARY OF STATE
9/23/2004
CORPORATIONS DIVISION
801 CAPITOL WAY SOUTH • PO BOX 40234
OLYMPIA, WA 98504-0234

STATE OF WASHINGTON
CORPORATION NUMBER: 602431566

*BE SURE TO INCLUDE FILING FEE. Checks
should be made payable to "Secretary of State"

Important: Please contact about this filing

Name: Bill Lawson

Daytime Phone Number (With area code): 509-624-1170

CERTIFICATE OF FORMATION

NAME OF LIMITED LIABILITY COMPANY (LLC) (Must contain the word "Limited Liability Company", "LLC", or "LLC")
Anchorage Hospitality, LLC

ADDRESS OF LLC'S PRINCIPAL PLACE OF BUSINESS
Street Address (Required): 202 E. Trent Ave., #400 City: Spokane State: WA ZIP: 99202

PO Box (Optional) - Must be in same city as street address: _____ ZIP (if different than street ZIP): _____

EFFECTIVE DATE OF LLC (Specified effective date may be up to 90 days AFTER receipt of this document by the Secretary of State)
☐ Specific Date: _____ ☒ Upon filing by the Secretary of State

DATE OF DISSOLUTION (if applicable) _____ ☐ Yes ☒ No

MANAGEMENT OF LLC IS VESTED IN ONE OR MORE MANAGERS

*** PLEASE ATTACH ANY OTHER PROVISIONS THE LLC ELECTS TO INCLUDE ***

NAME AND ADDRESS OF WASHINGTON STATE REGISTERED AGENT

Name: Bill Lawson

Street Address (Required): 202 E. Trent Ave., #400 City: Spokane State: WA ZIP: 99202

PO Box (Optional) - Must be in same city as street address: _____ ZIP (if different than street ZIP): _____

I consent to serve as Registered Agent in the State of Washington for the above named LLC. I understand it will be my responsibility to accept Service of Process on behalf of the LLC; to forward mail to the LLC; and to immediately notify the Office of the Secretary of State if I resign or change the Registered Office Address.

Signature of Agent: [Signature] Printed Name: Bill Lawson Date: _____

NAMES ADDRESSES OF EACH PERSON EXECUTING THIS CERTIFICATE (If necessary, each person must be addressed)

Printed Name: Bill Lawson Signature: [Signature]

Address: 202 E. Trent Ave., #400 City: Spokane State: WA ZIP: 99202

Printed Name: _____ Signature: _____

Address: _____ City: _____ State: _____ ZIP: _____

Printed Name: _____ Signature: _____

Address: _____ City: _____ State: _____ ZIP: _____



State of Alaska
Department of Commerce, Community and Economic Development
CORPORATION SECTION
PO Box 110808
Juneau, AK 99811-0808

AK Entity #: 110298
Date Filed: 08/24/2008 10:51 PM
State of Alaska
Department of Commerce

APPLICATION FOR REGISTRATION

Foreign Limited Liability Company

Pursuant to the provisions of the Alaska Statutes, the undersigned limited liability company applies for a Certificate of Registration and, for that purpose, submits the following statement:

1. The legal name of the limited liability company:

Anchorage Hospitality, LLC

The assumed name elected to use in Alaska if the legal name is not available:

2. State of domicile, date of organization, and the period of duration in the state or country of domicile:

State of Domicile: Washington	Date of Organization: September 23, 2004	Duration: perpetual
----------------------------------	---	------------------------

The limited liability company is active and in good standing in the state of domicile.

3. Registered Agent name and address:

Name Tammy Griffin
Mailing Address 4411 Spenard Road Anchorage, AK 99517

Physical Address if Mailing
Address is a Post Office Box

4. The Department is appointed the agent of the company for service of process if the foreign limited liability company fails to appoint or maintain a registered agent

5. Address of the administrative office of the company in the state or country of domicile:

Mailing Address 621 W Mallon Ave Suite 509 Spokane, WA 99201

6. Principal Office Mailing Address:

Mailing Address 4411 Spenard Rd Anchorage, AK 99517

7. The purpose of the company and the 6 digit NAICS industry grouping code that most clearly describe the initial activities of the company:

Any Lawful	
------------	--

The names and addresses of the managers of the company, or, if the company is not managed by a manager the names and addresses of the members of the company and the name and address of each person owning at least a five percent interest in the company and the percentage of interest owned by that person in the company:

Title - Check Applicable Box	Name	Mailing Address	% Interest Held
☒ Member ☐ Manager	William J Lawson	621 W. Mallon Avenue Suite # 509 Spokane, WA 99201	
☒ Member ☐ Manager	Chris A Ashenbrenner	621 W. Mallon Avenue Suite #509 Spokane, WA 99201	

Signature by a person who is authorized by the law of the state or other jurisdiction where the company was organized to sign the application:

By signing this application for Certificate of Authority, I attest that the information set forth above is true and correct.

Name of Authorized Person	Online Signature	Title
William J Lawson	William J Lawson	Member

Date Submitted Online
9/24/2009

**DISCLOSURE OF COMPANY ACTIVITIES
USING THE
NORTH AMERICAN INDUSTRY CLASSIFICATION SYSTEM
(NAICS)**

A separate disclosure of purpose must be attached to the entity creation filing that most closely describes the activities of the entity. The NAICS Code must not conflict with the purpose listed in the formation document.

The 6 digit NAICS industry grouping code that most clearly describe the initial activities of the corporation is:

721110

Alaska Entity #: 118298

State of Alaska
Department of Commerce, Community, and
Economic Development
Corporations, Business and Professional Licensing

CERTIFICATE OF REGISTRATION

THE UNDERSIGNED, as Commissioner of Commerce, Community, and Economic Development of the State of Alaska, hereby certifies that an Application for Certificate of Registration to transact business in this state, duly signed and verified pursuant to the provisions of the Alaska Statutes, has been received in this office and has been found to conform to law.

ACCORDINGLY, the undersigned, as Commissioner of Commerce, Community, and Economic Development, and by virtue of the authority vested in me by law, hereby issues this certificate to

Anchorage Hospitality, LLC

to transact business in this state under the name of

Anchorage Hospitality, LLC

and attaches hereto the original copy of the application for such certificate.



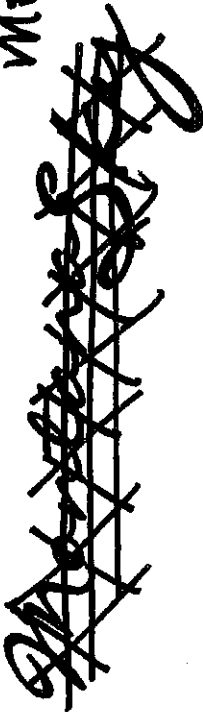
IN TESTIMONY WHEREOF, I execute this certificate and affix the Great Seal of the State of Alaska on September 24, 2008.

A handwritten signature in cursive script, appearing to read "Emil Notz".

Emil Notz
Commissioner

CROWN PLAZA MIDTOWN PROPOSED RESTAURANT

MENU



Soup

Served With An Artisan Roll And Herbed Butter

Soup du Jour

2.95/4.95

Five Onion Bourbon Au Gratin

Slow Cooked For A Naturally Sweet Finish And Served In A Full Bodied Bourbon
Infused Beef Stock Topped With An Ample Portion of Melted Gruyere Cheese

5.95

Cream of Broccoli

Sweet Cream With Sautéed Broccoli And A Vegetable Mirepoix
Finished With Fresh Tarragon

6.95

Starters

Ale Steamed Clams

Cherry Stone Clams Sautéed To Order With Chopped Garlic, Scallions
And Fresh Herbs Finished With A Locally Brewed Ale And Whole Butter

7.95/9.25

English Style Fish and Chips

Hand Dipped And Batterd Walleye Presented With Thick Cut Steak Fries
Served With Cucumber Aioli And A Drizzling of Malt Vinegar

10.95

Pork Ribs

Slow Braised Pork Tossed With A House Prepared Sweet And Sour Glaze
And Presented With An Ample Portion Of Onion Frits

6.95/8.95

Southern Fried Fritters

Crispy Batterd Tenderloins of Chicken Served With A Buttermilk Country Dip

7.95

Salads

Served With An Artisan Roll And Herbed Butter

▼ Garden Salad

Chopped Romaine With Wild Greens, Grape Tomatoes, Julienne Of Carrot,
Cucumber Slices, And Red Onion Petals, Drizzled with Sun Dried Tomato Vinaigrette

6.25

Roasted Beet

Roasted Beets Tossed With Wild Greens, Candied Walnuts, Sun dried Cranberries, And Maytag Bien Cheese,
Dressed with White Truffle Raspberry Vinaigrette

8.25

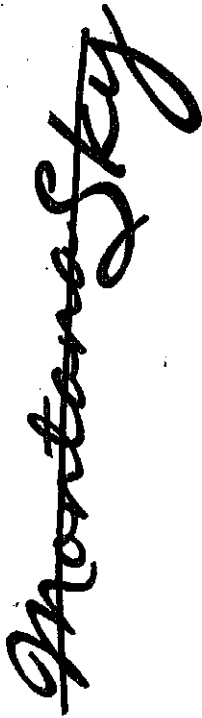
Caesar Salad

Tender Hearts of Romaine Served With Our House Prepared Dressing, Toasted Garlic Croustons, Onion
Petals, And Imported Reggiano Cheese

6.95

Add Narmated Breast Of Chicken

8.95



Sandwiches and Burgers

Served With Your Choice Of Steak Fries Or Home Chips

Turkey Ruben	
Thinly Sliced Breast of Turkey Filled High On Grilled Marble Rye Topped with Tangy Sauerkraut And Malted Provolone Cheese	8.25
Montana Burger	
Your Choice of 1/3 Pound Buffalo, Beef, Or Chicken Served With Sliced Tomatoes, Bermuda Onions Red Leaf Lettuce, and Pickle Spear	8.95
Add Bacon, Swiss, Cheddar, Or Bleu Cheese, Sautéed Onions or Mushrooms	50 each
Prime Rib Dip	
Mesquite Smoked Prime Rib Thinly Sliced And Served on A Steak Roll With Grilled Onions And Provolone	10.95
♥Vegetarian Pinwheel Wrap	
Spinach Tortilla Wrap With Fresh Dill Cream Cheese, Wild Greens, Sliced Tomatoes, Red Onions, Cucumbers, and Provolone Cheese	7.95

Entrees

Served With An Artisan Roll Herbed Butter, and Side Garden Salad Paired with Chefs Accompaniments	
Grilled Chicken Fettuccini	10.95
Johanne Breast Of Chicken Tossed With Spinach, Feta, And Red Onions	
♥Penne Pasta	9.25
Marinated Artichoke Hearts With Sun dried Tomatoes, Garlic, Red Peppers, Mushrooms	11.95
Southwestern Chicken	
Marinated Breast of Chicken Served with a Spicy Sambal Cream Sauce	11.25
Chicken Cordon Bleu	12.95
Grilled Breast Of Chicken With Seared Ham And Topped With Melted Swiss	
NY Strip	10.95
1oz Angus New York Strip Steak Topped With Grilled Onions And Mushrooms	12.95
Cherried Pork loin	
Grilled Center Cut Pork loin Topped With A Sun dried Cherry Glaze	12.95
Walleye	
Seared Walleye Fillets With A Creamy Lemon Beurre Blanc Sauce	11.95
Shrimp Scampi	
Garlic Buttered Shrimp With Fresh Herbs And Lemon Accent	

Beverages

Hot Beverages		Cold Beverages	
Starbucks House Blend Coffee	2.50	Milk (Skim, 2%, Chocolate)	2.50
Starbucks Hot Chocolate	2.25	Juice (Apple, Cranberry, Orange)	1.95/2.95
Starbucks Izzo Hot Tea	2.25	Fresh Squeezed (Oranges, Grapefruit)	3.95/4.95
Zen, Refresh, Wild Sweet Orange		V8 Juice	2.25
Room Service White Awake Calm		Brewed Izzo Iced Tea	1.95

Montana Sky

Omelets
All Three Egg Omelets Are Served With Breakfast Potatoes
And A Choice Of Toast, English Muffin, Bagel, Or Muffin Served With Dickenson Preserves

Spinach Omelet
Sliced Onions, Sliced Mushrooms, And Diced Tomatoes Topped
With Sautéed Spinach And Feta Cheese 9.25

Ham and Cheese Omelet
Diced Country Ham With Mild Cheddar Cheese 8.50

Vegetarian Omelet
Sliced Onions, Sliced Mushrooms, Diced Green and Red Bell Peppers 8.95

Four Cheese Omelet
Shredded Mozzarella, Mild Cheddar, Provolone, And Crumbled Feta Cheese 7.95

Denver Omelet
Diced Country Ham, Diced Tomatoes, Sliced Onions, Diced Bell Peppers,
And Cheddar Cheese 8.95

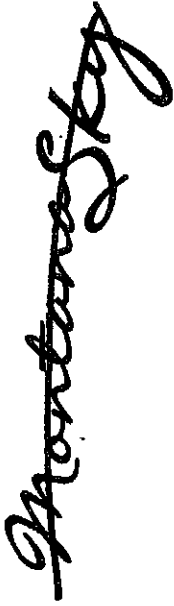
Ala Carte
Two Sausage Links, Bacon or Ham 3.25
Breakfast Potatoes 1.95
Two Eggs Any Style 3.25
Bowl of Fresh Fruit 2.25
Bagel with Cream Cheese 2.25
Blueberry Muffin 2.25
Hot Oatmeal 3.50
Yoplait Yogurt 2.50
Pico de Gallo Salsa 50
Half A Grapefruit 2.50
Seasonal Fruit Plate 3.95
Sour Cream .50
Cold Cereal 3.50
Toast with Dickenson Preserves 1.95
Stewed Prunes 1.95

Hot Beverages
Starbucks House Blend Coffee 2.50
Starbucks Hot Chocolate 2.25
Izzo Hot Ics 2.25
Zen, Refresh, Wild Sweet Orange,
Berry Blossom White, Awake,
Calm, Passion, Chai
Cold Beverages
Skim Milk 2.50
2% Milk 2.50
Chocolate Milk 2.50
Apple Juice 1.95/2.95
Orange Juice 1.95/2.95
Cranberry Juice 1.95/2.95
V8 Juice (Small) 2.25

Montana Sky

Breakfast

Continental Breakfast	
Choice of Sliced Strawberries, Sliced Bananas, Or Half A Grapefruit	
Choice of Toast, English Muffin, Bagel, Muffin Served With Dickenson Preserves	6.95
Choice of Starbucks Coffee, Izzo Tea, Milk, Or Hot Chocolate	
Healthy Start	
One Egg Poached With Yogurt And Granola Served With Seasonal Fruit	6.25
Biscuits and Gravy	
Two Eggs Any Style And Two Homestyle Buttermilk Biscuits	
Smothered in Country Sausage Gravy Served With Breakfast Potatoes	8.25
Pancakes	
Three Fluffy Buttermilk Pancakes Served With Warm Maple Syrup And Whipped Butter	6.95
Add Bananas Or Blueberries	7.95
French Toast	
Thick Sliced French Bread Dipped in Vanilla Cinnamon Butter	
Dusted With Powdered Sugar Served With Warm Maple Syrup and Whipped Butter	7.95
Eggs Benedict	
Two Lightly Poached Eggs, Griddled Canadian Bacon And Toasted English Muffin	
Topped With House Prepared Sauce Hollandaise And Seasonal Fruit	9.50
Country Breakfast	
Two Eggs Any Style With Breakfast Potatoes, Choice of Toast	
And One Of The Following: Sausage, Bacon, or Ham	8.95
Plaza Platter	
Two Fluffy Buttermilk Pancakes or Thick Sliced French Toast, Two Eggs Any Style,	
Two Crispy Strips Of Bacon, And Two Sausage Links Served With Breakfast Potatoes	11.25
Steak and Eggs	
Hand Cut Broiled 7 oz Angus New York Steak, Two Eggs Any Style	
And Breakfast Potatoes Served with Homestyle Biscuit	12.95



Entrees

Served With An Artisan Roll, Herbed Butter, and Side Garden Salad
Purged with Chef's Accompaniments

Chicken Mezcaluna	
Marmalade Grilled Breast Of Chicken Tossed With Flavorful And Tender Goat Cheese Stuffed Marzabuni Pasta, Kalamata Olives, Roasted Red Bell Peppers, And Marmalade Artichoke Hearts	21.95
Garden Ravioli	
Tender Egg Noodle Ravioli Stuffed With Seasoned White Beans, Tossed With Onions, Marmalade Artichoke Hearts, Roasted Red Peppers, Garlic, Thyme, Italian Parsley, and Sun Dried Tomatoes With a Parmesan Reggiano Cream	20.95
Southwestern Chicken	
Tortilla Encrusted Breast of Chicken Served A Top A Mirror Of Toasted Corn, Garlic And Sambal Cacao Presented With Colorful Tortilla Artichokes	18.95
Marmalade Buffalo Filet	
Buffalo Filet Mignon Rubbed with North African Spices and Grilled To Order And Served Atop Our House Prepared Mashie. Topped With A Tomato, Onion, And Fresh Herb Salad	20.95
Elk Strip Loins	
Ultra Tender Elk Loins Medallions Pressed In An Ancho Chili Garlic And Brown Sugar Rub. Pan Seared To A Blackened Crust And Served With A Sun Dried Cherry Dark Soy Glaze	25.95
Black and Blue NY Steak	
Our Cattle Spice Rubbed Organic Beef Strip Steak Is Grilled To Order And Topped With A Blanket Of Flame Crusted Blue Cheese Served with Onion Fritz	24.95
Steak Frites	
Char Grilled Organic Beef Rib eye Simply Prepared With A Cracked Black Pepper And Sea Salt Rub And Served With A Mountain Of Shooting Potatoes And Sauce Hollandaise	23.95
Mesquite Prime Rib Eye	
House Smoked Prime Rib Of Beef Lightly Seasoned With Cracked Black Pepper And Garlic Served With Fresh Smuddled Thyme Infused Horseradish And Au Jus	12 oz 23.95 16 oz 26.95
Filet Mignon	
For The Beef Purist We Offer An Herb An Olive Rubbed Beef Tenderloin Steak Charbroiled To Order Served With a Decadent Topping Of Our Rich And Savory Béarnaise	6 oz 24.95 10 oz 29.95
Lobster Prawns	
Three Colossal Prawns Flash Seared To Order And Served With A Swampy Butter Beurre Blanc	28.95
Cedar Wrapped Salmon	
Hand Cut 9 oz Atlantic Salmon Fillet Wrapped In A Cedar Planter And Oven Roasted To A Perfect Medium Temperature Served Tableside With Our House Prepared Sauce Béarnaise	24.95

Beverages

Hot Beverages	
Sauvignon House Blend Coffee	2.50
Sauvignon Hot Chocolate	2.25
Sauvignon Iced Hot Tea	2.25
Zen, Refresh, Wild Sweet Orange Berry Blossom White, Awake, Culin	
Pastor, Chi	
Cold Beverages	
Milk (Skim, 2%, Chocolate)	2.50
Juice (Apple, Cranberry, Orange)	1.95/2.95
Fresh Squeezed (Orange, Grapefruit)	3.95/4.95
V8 Juice	2.25
Brewed Two Ice Tea	1.95
Sodas (Coke, Diet Coke, Sprite, Dr. Pepper)	1.95

THE ROSE LOUNGE MENU

~~Portland~~

Appetizers

9.25 **Stuffed Mushrooms**
 Fresh Herbs Stuffed To Order With Chopped Garlic, Scallions
 Hand Dipped And Lightly Battered Fried Jumbo Soft Shell Crabs

12.95 **Crab Cakes**
 A Cilantro Infused Hot And Sour Glaze
 Hand Dipped And Battered Walleye Presented With Thick Cut Steak Fries

10.95 **Shrimp and Chips**
 A Dipping Sauce Presented With Thick Cut Steak Fries
 A Cilantro Infused Hot And Sour Glaze

8.95 **Bruschetta**
 Braised Pork Tossed With A House Prepared Sweet And Sour Glaze
 Presented With An Ample Portion Of Onion Frits

7.95 **Chicken Fried Potatoes**
 Chicken Fried Potatoes Served With A Buttermilk Country Dip

Pizza

16.95 **Pepperoni**
 Cheese With Parmesan, Mozzarella, Cheddar, And Provolone

17.95 **Margherita**
 Tomato Sauce, Mozzarella, Cheddar, And Provolone Cheeses

18.95 **Meat Lovers**
 Sausage, Pepperoni, Bell Peppers, Black Olives,
 Bacon, Cheddar, And Provolone Cheeses

Cocktails

The Crown Jewel
 Crown Royal Canadian Whiskey, Disaronno Liqueur,
 With Cranberry Juice

10 Cane Mojito
 10 Cane Rum, Simple Syrup, Fresh Mint, and Lime Juice
 Served with a Sugar Cane Swizzle

Cadillac Margarita
 Jose Cuervo Tequila with
 Grand Marnier Orange Liqueur and Fresh Lime Juice

Glow stick Martinis
 Bombay Sapphire Gin, Stoli Vodka, Blue Curacao,
 Fresh Lime Juice, and Simple Syrup served with a Glow stick

Key Lime Pie Martini
 Stoli Vanilla Vodka, Dr. McGillicuddy Vanilla Liqueur,
 Pineapple and Lime Juice Rummed with Graham Cracker Crumbs

Served Daily 5pm-11pm

Served Daily 5pm-11pm

Montana's

Crème Brûlée
Vanilla Bean Scented Sweetened Crème Custard
Topped With A Caramelized Sugar Crust And Strawberry Pan

Chocolate Indulgence
Dark Chocolate Cake Filled With A Warm Molten Fudge Center
Served With Godiva Liqueur

Summer Torte
Sweetened Rhubarb Vanilla Yogurt Mousse
Dizzled With Crystallized Ginger Syrup

New York Cheesecake
Traditional Smooth And Creamy
With A Berry Compote And Lemon Zest

Montana's

Spirits

Whiskey	Shot
Black Velvet	4.25
Black Velvet Reserve	5.25
Canadian Club	4.25
Pendleton	6.25
Seagrams 7	4.25
Seagrams VO	5.25
Crown Royal	5.25
Crown Royal XR	25
Jack Daniels	5.25
Gentleman Jack	6.25
Jack Daniels Single Barrel	8.75
Bushmills	6.25
Jensons	6.25
Midleton	18
Bourbon	
Early Times	4.25
Jim Beam	4.25
Wild Turkey 80	5.25
Wild Turkey 101	6.25
Makers Mark	6.25
Woodford Reserve	7.75
Scotch	
Lauters	4.25
Clan McGregor	4.25
Cutty Sark	5.25
Jack Rose	6.25
DeVaux	6.25
Johnny Walker Red Label	5.25
Johnny Walker Blue Label	25
Glen Morangie	9.25
MacCallum's	7.50
Chivas Regal	8.25
Glenlivet	9.25
Vodka	
Smirnoff/Black Cherry	4.25
Abouir/Citron/Mandarin/Pea	5.25
Stoli/Raz/Peach/Vanilla/Blueberry	6.25
Kettle One	5.25
Grey Goose	7.75
Gin	
Beefeater Gin	4.25
Tanqueray	5.25
Tanqueray 10	7.75
Bombay Sapphire	6.25
Sloe Gin	4.25
Rum	
Bacardi Light Rum	4.25
Bacardi 8	6.25
Captain Morgan Spiced	4.25
Captain Morgan Private Stock	4.25
Malibu Coconut	4.25
Sailor Jerry's Spiced	5.25
Parrot Bay	5.25
Ten Cane	8.25
Tequila	
Santa Extra Gold	4.25
Jose Cuervo	4.25
Jose Cuervo Black Metal	6.25
Patron Silver	12.50
Brandy	
Chateau Branth	4.25
F & I Reserve	5.95

Montana's

Wines

White Wines	Glass	Bottle
Tuned of Elms Chardonnay	5	19
Blackstone Seneca Reserve Chardonnay	8	31
La Crema Chardonnay	8	43
14 Hands Chardonnay	6	23
Bushler Chardonnay	7	27
Waterbrook Sauvignon Blanc	9	35
Hong Sauvignon Blanc	9	35
Ponzi Pinot Gris	9	35
Waterbrook Riesling	7	27
Moreland AnVino Riesling	8	31
Monchhof Estate Riesling	7	27
Piran Stearn Chen Blanc	7	27
Snackling Loon Viogner	7	27
Cavi Pinot Grigio	7	27
Cartan Bianca Gewurztraminer	7	27
Waterbrook Rose	7	27
Red Wines	Glass	Bottle
Tuned of Elms Merlot	5	19
Tin Roof Merlot	6	23
Toasted Head Merlot	8	31
Tuned of Elms Cabernet	5	19
Santa Rita Reserva Cabernet	6	23
Side Yard Cabernet	6	23
DeLoren Cabernet	43	43
Opus One Cabernet Sauvignon 2004	8	31
Houghton Shiraz	8	31
Mad Fish Shiraz	9	35
Laver Cate Malbec	9	35
Estancia Pinot Noir	9	35
Mandolin Vinters Pinot Noir	7	27
Columbia Crest Reserve Syrah	7	27
Ravenwood Petite Sirah	43	43
Castle Rock Zinfandel	7	27
Sparkling Wines	Glass	Bottle
Korbel Brut	28	28
Ferrari	59	59
Tarrington Brut	109	109
Dom Perignon	219	219
Delect Wines	Glass	Bottle
Sandeman 20 v. Port	13.50	13.50
Beer	First	Pitcher
Draft Beer	5	18
Sells Atmos Belgium Lager	5	18
Moose Dead Brown Ale (Montana)	4.50	14
Beldan White Ale (Montana)	4.50	14
Guinness Stout	5	18
Domestic Beer	3.50	3.50
Badwater, Red Light, Coors Light, Miller Lite, O'Doulis,		
Michigan Ultra, Microdub Amber, Rolling Rock		
Import Beers	4	4
Sapporo, Pacifico, Corona Extra, Hansen, Foster,		
Molson Canadian, Bass Ale, Bayem Pilsner		
Micro Beers	4	4
Henry Weinhard Private Reserve, Sam Adams Lager,		
Pyramid Hefe Weizen, Red Hook ESB, Alaskan Amber,		
Deschutes Black Butte Porter, Fat Tire, Yellowstone Valley Brewing		
Wild Fly Ale, Black Widow Stout, and Gamsy Wolf Wheat		
Beverages		
Coke, Diet Coke, Sprite, Dr. Pepper, Fanta, Arrowhead Water		

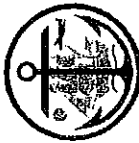
POSTING

AFFIDAVIT

RECEIVED

JAN 1 6 2009

PLANNING DEPARTMENT



AFFIDAVIT OF POSTING

CASE NUMBER: 2009-021

I, Joseph C. Merrill hereby certify that I have posted a **Notice of Public Hearing** as prescribed by Anchorage Municipal Code 21.15.005 on the property that I have petitioned for rezoning of 12-19-08 . The notice was posted on 12-19-08 which is at least 21 days prior to the public hearing on this petition. I acknowledge this Notice(s) must be posted in plain sight and displayed until all public hearings have been completed.

Affirmed and signed this 16th day of January , 200 9

Joseph C. Merrill
Signature

LEGAL DESCRIPTION

Tract or Lot A

Block

Subdivision H&B

HISTORICAL INFORMATION

Content ID: 007388**Type:** AR_AllOther - All Other Resolutions

A RESOLUTION OF THE ANCHORAGE MUNICIPAL ASSEMBLY APPROVING AN ALCOHOLIC BEVERAGES CONDITIONAL USE FOR A BEVERAGE DISPENSARY TOURISM USE AND LICENSE, AND DUPLICATE BEVERAGE DISPENSARY TOURISM USE AND LICENSE IN THE I-1 SL (LIGHT INDUSTRIAL) DISTRICT WITH SPECIAL LIMITATIONS (A.O. 98-96AA) PER

Title: AMC 21.40.200.B.1.k, FOR ANCHORAGE HOSPITALITY LLC, DBA CROWNE PLAZA MIDTOWN HOTEL - ANCHORAGE, ALASKA; LOCATED AT 109 WEST INTERNATIONAL AIRPORT ROAD, WITHIN TRACT A, HAXBY SUBDIVISION, LOCATED WITHIN THE NW ¼ OF SECTION 31, T13N, R3W, S.M.; GENERALLY LOCATED NORTH OF WEST INTERNATIONAL AIRPORT ROAD AND EAST OF C STREET.

Author: weaverjt

Initiating Dept: Planning

Description: A RESOLUTION OF THE ANCHORAGE MUNICIPAL ASSEMBLY APPROVING AN ALCOHOLIC BEVERAGES CONDITIONAL USE FOR A BEVERAGE DISPENSARY TOURISM USE

Date Prepared: 2/5/09 11:42 AM

Director Name: Tom Nelson

Assembly Meeting Date: 2/24/09

Public Hearing Date: 2/24/09

Workflow Name	Action Date	Action	User	Security Group	Content ID
Clerk_Admin_SubWorkflow	2/9/09 9:44 AM	Exit	Heather Handyside	Public	007388
MuniMgrCoord_SubWorkflow	2/9/09 9:44 AM	Approve	Heather Handyside	Public	007388
MuniManager_SubWorkflow	2/9/09 9:33 AM	Approve	Michael Abbott	Public	007388
CFO_SubWorkflow	2/9/09 9:06 AM	Approve	Sharon Weddleton	Public	007388
ECD_SubWorkflow	2/6/09 3:27 PM	Approve	Tawny Klebesadel	Public	007388
Planning_SubWorkflow	2/6/09 3:25 PM	Approve	Tom Nelson	Public	007388
AllOtherARWorkflow	2/5/09 11:45 AM	Checkin	Jerry Weaver Jr.	Public	007388